



AGENDA

HISTORIC LANDMARKS COMMISSION

March 15, 2016

5:15 p.m.

2nd Floor Council Chambers

1095 Duane Street • Astoria OR 97103

1. CALL TO ORDER
2. ROLL CALL
3. MINUTES
 - a. February 16, 2016
4. PUBLIC HEARINGS
 - a. Exterior Alteration EX15-14 by Daniel Peters to rebuild the exterior stairs and add a two-story deck on the NW corner elevation and change a 1:1 window to multi-light door on the North elevation (2nd floor) of an existing single family dwelling at 726 27th Street in the R-2, Medium Density Residential zone. The application was continued from the February 16, 2016 meeting.
5. REPORT OF OFFICERS
6. NEW BUSINESS
 - a. 2016 Dr. Edward Harvey Historic Preservation Award Nominations
 - b. Certified Local Government (CLG) Grant Application
 - c. State Historic Preservation Office (SHPO) Tax Incentive Training
 - d. Columbia Pacific Preservation (CPP) Goals

THIS MEETING IS ACCESSIBLE TO THE DISABLED. AN INTERPRETER FOR THE HEARING IMPAIRED MAY BE REQUESTED UNDER THE TERMS OF ORS 192.630 BY CONTACTING SHERRI WILLIAMS, COMMUNITY DEVELOPMENT DEPARTMENT, 503-338-5183.

7. STATUS REPORTS

- a. Planner Ferber has included status report photographs of the following: EX14-07 for 813 14th Street and NC15-02 for 1542 Grand. The projects are complete or near completion and conditions have been met. These status report photographs are for Commission information.

8. PUBLIC COMMENT (Non-Agenda Items)

9. ADJOURNMENT

HISTORIC LANDMARKS COMMISSION MEETING

City Council Chambers
February 16, 2016

CALL TO ORDER – ITEM 1:

A regular meeting of the Astoria Historic Landmarks Commission (HLC) was held at the above place at the hour of 5:30 p.m.

ROLL CALL – ITEM 2:

Commissioners Present: President LJ Gunderson, Vice President Michelle Dieffenbach, Commissioners Jack Osterberg, Paul Caruana, Kevin McHone, and Thomas Stanley.

Commissioners Excused: Mac Burns

Staff Present: Planner Nancy Ferber and Community Development Director Kevin Cronin. The meeting is recorded and will be transcribed by ABC Transcription Services, Inc.

APPROVAL OF MINUTES – ITEM 3(a):

President Gunderson asked if there were any changes to the minutes. There were none.

Commissioner Stanley moved to approve the minutes of January 19, 2016 as presented; seconded by Commissioner McHone. Ayes: President Gunderson, Vice President Dieffenbach, Commissioners Caruana, Osterberg, Stanley, and McHone. Nays: None.

PUBLIC HEARINGS:

President Gunderson explained the procedures governing the conduct of public hearings to the audience and advised that the substantive review criteria were listed in the Staff report.

ITEM 4(a):

EX15-14 Exterior Alteration EX15-14 by Daniel Peters to rebuild the exterior stairs and add a two-story deck on the northwest corner elevation and change a 1:1 window to a multi-light door on the north elevation (2nd floor) of an existing single family dwelling at 726 27th Street in the R-2, Medium Density Residential zone. This item was continued from the January 10, 2016 meeting. The applicant has requested this item be continued to the March 15, 2016 meeting.

Planner Ferber said the Applicant needed more time to finalize changes to his original plans and had asked for a continuance. She visited the property with John Goodenberger and saw that Mr. Peters was doing a good job scaling back the porch and clearing out some materials. She was excited to see his application, which she believed would be ready in the next few days. Director Cronin added the City had received a letter from the Applicant requesting an extension of the 120-day land use rule.

Commissioner Stanley moved that the Historic Landmarks Commission (HLC) continue the review of Exterior Alteration EX15-14 by Daniel Peters to the March 15, 2016 meeting; seconded by Commissioner Caruana. Motion passed unanimously.

OLD BUSINESS – ITEM 5(a):

Verizon Appeal Decision.

Director Cronin said City Council voted to overturn the HLC's decision on Verizon's application. To date, Staff has not received an appeal of City Council's decision from Verizon. However, the appeal period is about to expire. If no appeal is filed, the City and Verizon will have to figure out next steps. If Verizon submits a new application to put a tower in Shively Park, the HLC will review the new application.

REPORTS OF OFFICERS/COMMISSIONERS – ITEM 6:

Director Cronin said February 26th was the deadline for Certified Local Government funds, which Astoria has used in the past for pass-through grants for façade renovations and to offset Mr. Goodenberger's fees. In addition to applying for these funds, Staff is developing specification and product sheets to hand out to applicants. He wanted to target the funds for the Uniontown area as part of a larger effort to revitalize the neighborhood. If Uniontown property owners do not apply for the funds, grants will be offered on a first come first served basis because Uniontown can also utilize Astor West Urban Renewal Funds.

He answered the Commissions questions about the City's façade renovation grant program, confirming the program had been in place for quite some time and Rosemary Johnson was finalizing the guidelines and standards for the program. Past grants to property owners have averaged between \$500 and \$3,000 as a 50/50 match.

PUBLIC COMMENT – ITEM 7:

Director Cronin announced Rachel Jensen who was in attendance, was the new president of the Lower Columbia Preservation Society.

Commissioner Stanley confirmed with Staff that the red building out on the water was listed for sale, but nothing else was going on with the property.

President Gunderson asked for an update on a deck the HLC approved for the pilot station building. Director Cronin said he had no information but would look into it.

Commissioner Osterberg noted that 2016 was the 50th anniversary of the Columbia River Bridge and asked if any event was being planned. Now that the bridge is 50 years old, it could be considered historic. Director Cronin said Commissioner Burns was in charge of the bridge's 50th year celebration event and City Council has already authorized the use of Promote Astoria Funds for the event.

ADJOURNMENT:

There being no further business, the meeting was adjourned at 5:42 p.m.

APPROVED:

Community Development Director

STAFF REPORT AND FINDINGS OF FACT

March 7, 2016

To: Historic Landmarks Commission
From : Nancy Ferber, City Planner

Subject: Exterior Alteration Request (EX15-14) by Daniel Peters to rebuild exterior stairs, change one over one window to multi-lite door, replace stairs, and add a two story deck to the northwest corner elevation of existing single family dwelling located at 726 27th Street. Note: This application is in conjunction with application NC-15-08 to construct a 484 square foot garage adjacent to the house.

I. BACKGROUND SUMMARY

- A. Applicant: Daniel Peters
726 27th Street
Astoria, OR 97103
- B. Owner(s): Peters Daniel L
Peters Jill A
726 27th Street
Astoria, OR 97103
- C. Location: 726 27th Street; Map T8N-R9W Section 9CC, Tax Lot 4600; Lot 6, Block 34, Shively
- D. Classification: Exterior alteration within the Adair Uppertown Historic Inventory Area on national registered property
- E. Proposal: Rebuild exterior stairs, change one over one window to multi-lite door, replace stairs, and add a two story deck to the nw corner elevation of existing single family dwelling located at 726 27th Street
- F. Zone: R-2 (Medium Density Residential)
- G. Previous Applications: New construction for garage approved January 2016.

II. BACKGROUND

A. Subject Property

The subject property is located on the Northwest corner on the east side of 27th Street. The lot is 50' x 130' (6,500 square feet) and is of sufficient size in the R-2



Zone to accommodate the alterations.

NOTE: For more information on the historic resource and surrounding properties, please refer to File NC 15-08.

The lot sits above the Grand Avenue level and the proposed decks would be located toward the north end of the lot. The proposed first story deck is 6'x19' with a 6' x15' deck above it on the second story.

The HLC continued this application from January 19, 2016, and asked the applicant to provide more details on the stairs from the first story deck down to an existing concrete landing as well as improve the double porch design. Subsequently, John Goodenberger met on site with the applicant multiple times to provide historic preservation expertise and provide historically appropriate ideas.

Height: Height of approximately 13' to ridge of roof

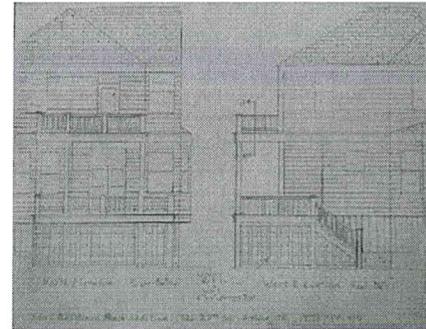
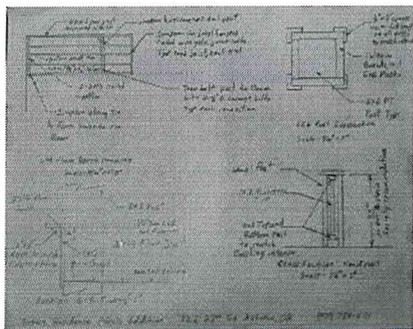
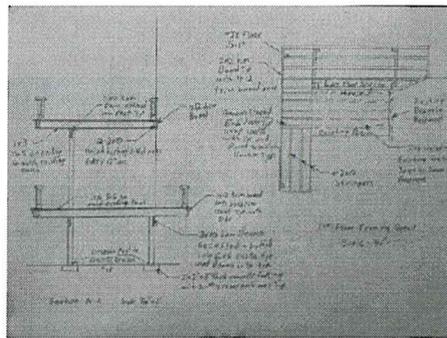
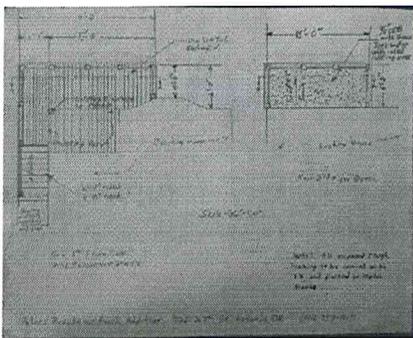
Roof: Fish scale roofing to match gable on house, with felt paper and asphalt composite shingles to match existing house 4:12 pitch roof.

Siding: 1x6 tongue and groove siding with 6" pine trim painted to match the house.

Windows: To change one over one window on north elevation to multi-lite door. (Work was completed prior to any permitting)

Other Features: constructing new front porch and stairs with second story deck on front north elevation

Plans: See attached plans. Preview images are below



III. PUBLIC REVIEW AND COMMENT

A public notice was mailed to all property owners within 100 feet pursuant to Section 9.020 on December 23, 2015. A notice of public hearing was published in the *Daily Astorian* on January 12, 2016. Comments received will be made available at the Historic Landmarks Commission meeting.

IV. APPLICABLE REVIEW CRITERIA AND FINDINGS OF FACT

- A. Section 6.050(B) requires that unless otherwise exempted, no person, corporation, or other entity shall change, add to, or modify a structure or site in such a way as to affect its exterior appearance, if such structure is listed or identified as a Historic Landmark or as Primary or Secondary without first obtaining a Certificate of Appropriateness.

Finding: The structure is listed as an Eligible Contributing in the Adair-Uppertown Area and requires review by the HLC. Since the 2013 inventory, the second floor window has been changed to a door, no permits were obtained, the commission shall consider this request as if the work had not been completed.

- B. Section 6.050(F), Historic Design Review Criteria, states that *“Type II and Type III Certificate of Appropriateness exterior alteration requests shall be reviewed by the Historic Landmarks Commission or Historic Preservation Officer as indicated in Section 6.050 following receipt of a complete application.”*

The following standards, in compliance with the Secretary of the Interior’s Standards for Historic Preservation, shall be used to review Type II and Type III exterior alteration requests. The standards summarized below involve the balancing of competing and conflicting interests. The standards are intended to be used as a guide in the Historic Landmark Commission’s deliberations and/or the Historic Preservation Officer’s decision.”

1. Section 6.050.F.1 states that *“every reasonable effort shall be made to provide a compatible use for a property which requires minimal alteration of the building, structure, or site and its environment, or to use a property for its originally intended purpose.”*

Finding: The structure was originally built as a single-family dwelling. The applicant will continue to use the property as a single-family dwelling.

The applicant is requesting to add a second story deck, and enlarge first story porch to extend beyond the plane of the house and wrapping around to west side to put stairs down to

Example first floor porch



existing concrete landing pad on the side. Front porches are a typical use for this style of single-family dwelling and are prevalent in Astoria.

2. Section 6.050.F.2 states that *“the distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.”*

Finding: The applicant has removed a one over one window on the front second floor elevation, and replaced it with a multi-lite door.

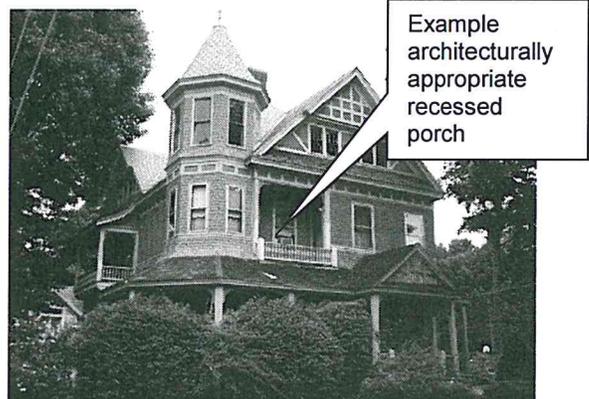


The distinguishing characteristics of a Queen Anne style house included recessed porches, but do not include protruding decks. Therefore, removal of the historic window does not meet this criterion. Since the door has already been installed, the applicant should remove the door, and replace to the original one over one window. (Condition 1b)

Should the second story porch be approved, the existing door would not need to be removed.

3. Section 6.050.F.3 states that *“all buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.”*

Finding: No alterations are proposed to create an earlier appearance.



4. Section 6.050.F.4 states that *“changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.”*

Finding: No alterations are proposed to features that have acquired significance.

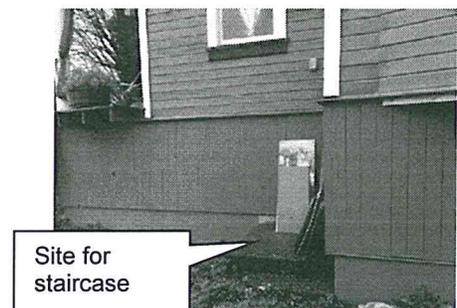
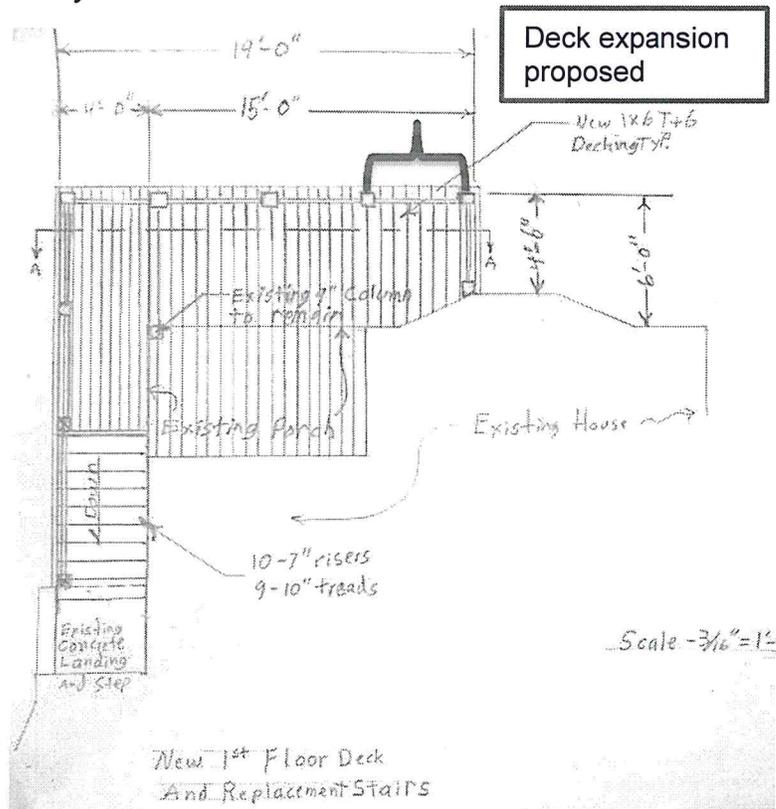
5. Section 6.050.F.5 states that “distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.”

Finding: The north elevation is very visible, and is the front of the structure. The Queen Anne style typically has front porches located under the roofs, and not projecting from the house. The owner is requesting to extend the porch 6’ beyond the front façade. Due to the location on the primary façade, a protruding front porch does not

maintain character of the Queen Anne style. A porch within the existing roofline, and wrapping around to the west elevation with stairs to the existing landing, would be similar to the original design and is appropriate.

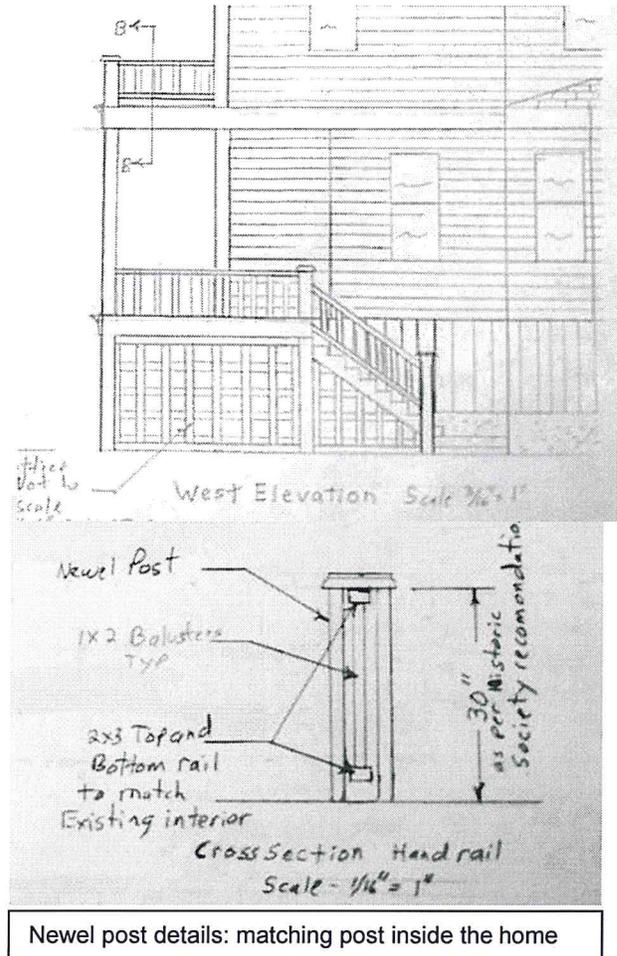
The applicant’s new plans propose the porch wraps further around the north elevation of the house to the east, for a more consistent look rather than truncating the porch before the bay window. The extension of the front porch beyond the plane of the house should be approved only if it extends to the bay window (Condition 1a and 2b).

The applicant has provided additional details for proposed stairs from the first floor down to an existing concrete pad.



The proposed newel post will mimic the design of post in the photo below, which is an existing newel post from the interior of the house. The landing balustrade has upper and lower rails. Supporting posts shall be incorporated into the porch, and not exposed on the exterior, fascia board, or other cover should hide any construction detailing. (Condition 3a and 3b).

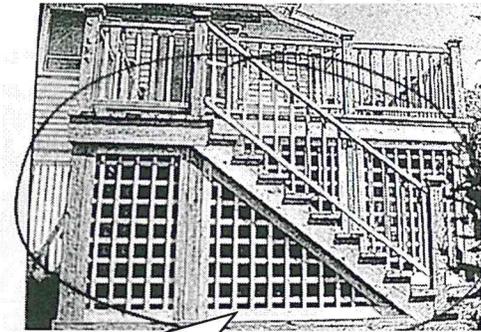
The balustrade on the stairs will also have an upper and lower railing, and should end in a newel post. The upper rail should not extend beyond the newel post. (Condition 2a and 4b). A lattice underneath the stairs will have a 6" by 6" opening, similar to the example in the picture below. This lattice work is proposed to wrap around the front of the house in addition to underneath the staircase. It will be painted to match the house to maintain the stylistic features.



Newel post details: matching post inside the home



In addition to the first floor porch and stairs, the applicant is proposing a second story deck on the primary front façade. The distinguishing characteristics of a Queen Anne style house included recessed porches, but do not include protruding decks. However, the applicant has proposed changes from the initial design submitted. The new design only protrudes 6' out, the handrails have been lowered and the top deck has been extended to match the bottom. The second story deck would extend to the bay window, and tuck just below the roofing above the window.



Example proposed lattice work

Should the HLC find the design changes insufficient and not in line with distinguishing characteristics of a Queen Anne style house, construction of the second story deck and the change of a window to a door on the second story should be denied. The first floor porch and stairs maintain the character of the Queen Anne vernacular and meets the criteria of treating the site with sensitivity.

6. Section 6.050.F.6 states that *“deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.”*



Example newel post and covered construction detailing

6.050.C.2.b.2, Type I Certificate of Appropriateness - Immediate Approval, states that *“Installation of contemporary composite material on the flat decking area of porches, decks, and/or stair treads.”*

Finding: The porch and stairs have deteriorated beyond repair. The applicant is proposing to reconstruct that portion of the first story porch similar to the original. The balustrade is proposed to be wood; the flat decking proposed is a plastic composite material, which is allowable per section 6.050.C.2.b.2.

7. Section 6.050.F.7 states that *“the surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other*

cleaning methods that will damage the historic building materials shall not be undertaken.”

Finding: No surface cleaning is proposed.

8. Section 6.050.F.8 states that *“every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.”*

Finding: Archaeological resources, if any, will not be affected.

9. Section 6.050.F.9 states that *“contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and addition do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood or environment.”*

Finding: A protruding front porch and second story deck with door are contemporary designs. While contemporary alterations are not discouraged, the proposed alteration does destroy significant architectural design. Due to the primary façade location, the proposed deck and porch are not in scale with the typical Queen Anne style porches. The first floor porch design and alterations do not destroy significant historical properties of the building.

10. Section 6.050.F.10 states that *“wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.”*

Finding: Some features could be removed and the essential form and integrity of the structure would be unimpaired.

V. CONCLUSION AND RECOMMENDATION

Based on staff review, portions of the request do not meet the criteria. However, if the HLC determines the proposed design meets the criteria noted above, the following conditions apply:

A. Conditions for full approval of the upper and lower porches

1a. The extension of the upper and lower porch beyond the plane of the house shall be approved only if it extends to the bay window.

2a. The balustrade on the stairs shall have an upper and lower railing, and shall end in a newel post. The upper rail shall not extend beyond the newel post.

3a. Supporting posts shall be incorporated into the porch, and not exposed on the exterior. A fascia board or other cover shall hide any construction detailing.

B. Conditions for first porch only, and not the upper porch:

If HLC determines that portions of the proposal do not meet the criteria, the following conditions shall apply:

1b. The applicant shall remove the second story door, and replace with a one over one window.

2b. The extension of the front porch beyond the plane of the house shall be approved only if it extends to the bay window.

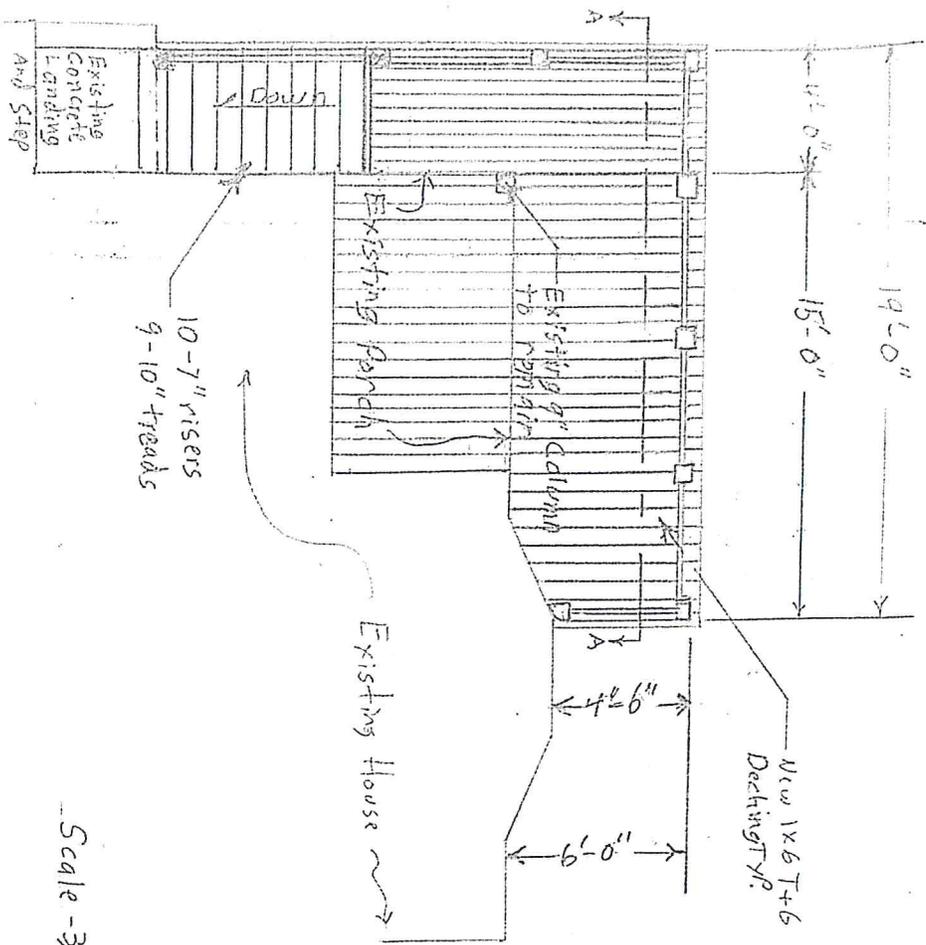
3b. The balustrade on the stairs shall have an upper and lower railing, and shall end in a newel post. The upper rail shall not extend beyond the newel post.

4b. Supporting posts shall be incorporated into the porch, and not exposed on the exterior. A fascia board or other cover shall hide any construction detailing.

5b. Significant changes or modifications to the proposed plans as described in this staff report shall be reviewed by the Historic Landmarks Commission.

The applicant should be aware of the following requirements:

The applicant shall obtain all necessary City and building permits prior to the start of construction.



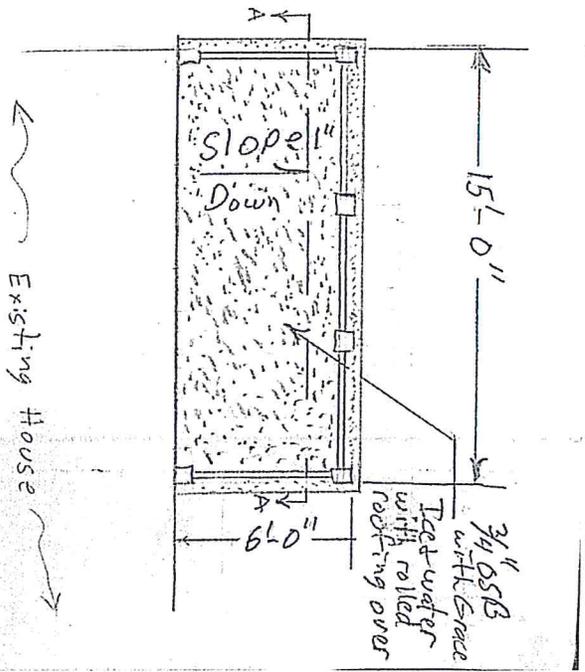
New 1st Floor Deck
And Replacement STAIRS

10-7" risers
9-10" treads

Existing House

New 1x6 T+G
Decking?

Scale - 3/16" = 1'-0"

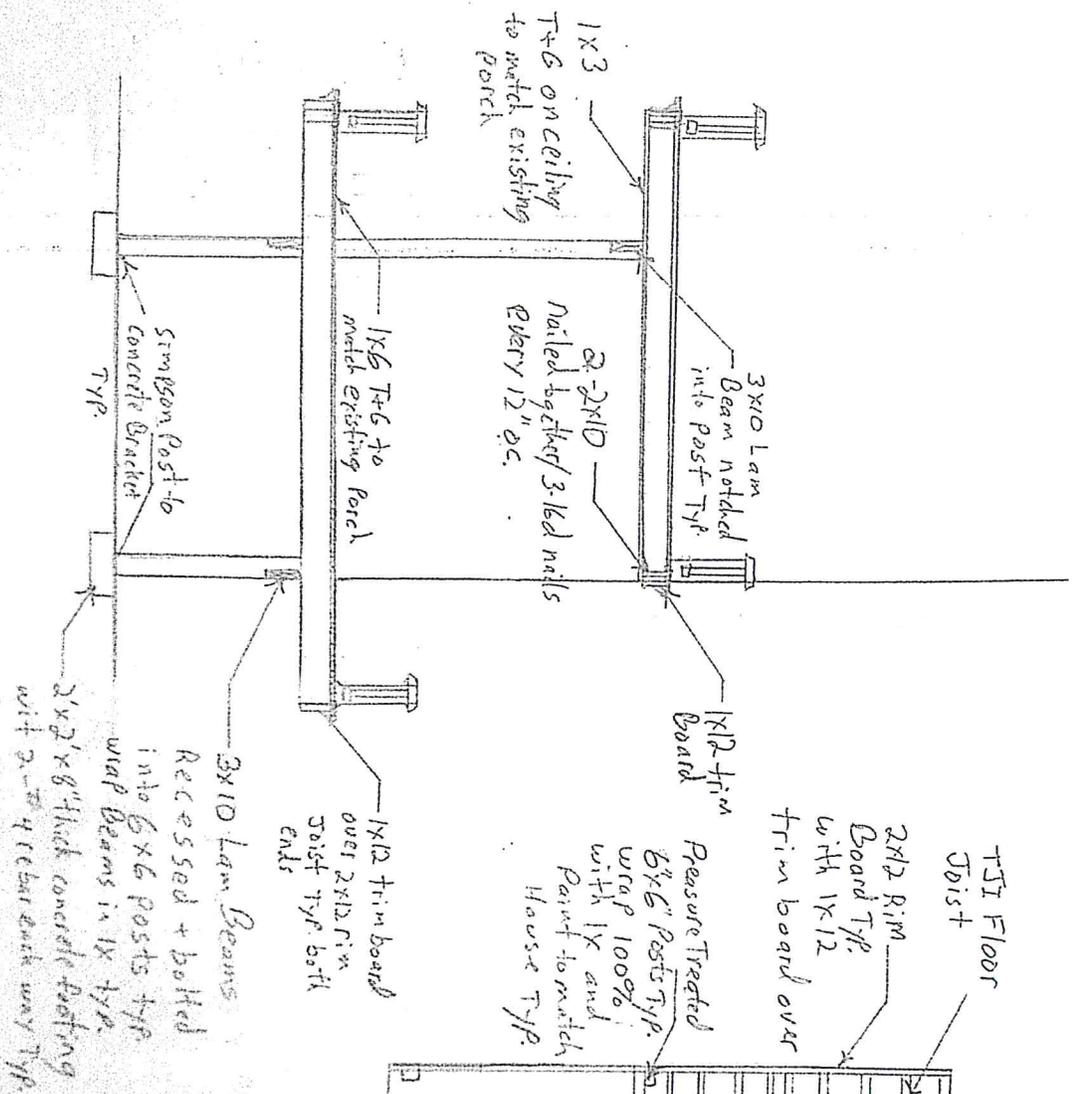


New 2nd Floor Deck

Existing House

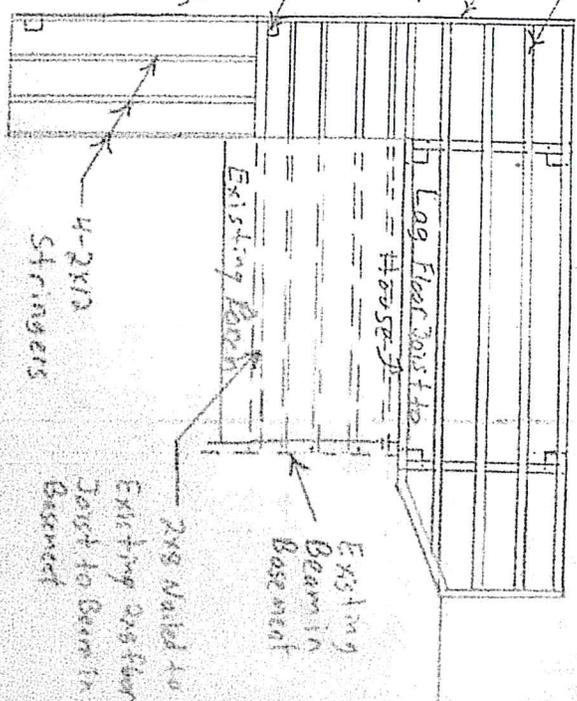
NOTE: All exposed rough
Framing to be covered with
1 X and painted to match
House

Peters Residence Park Addition 726 27th St Astoria, OR (726) 759-4111



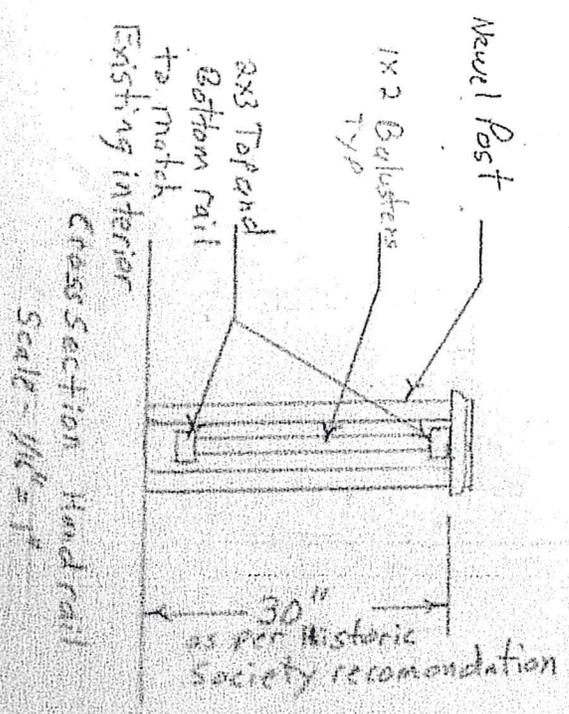
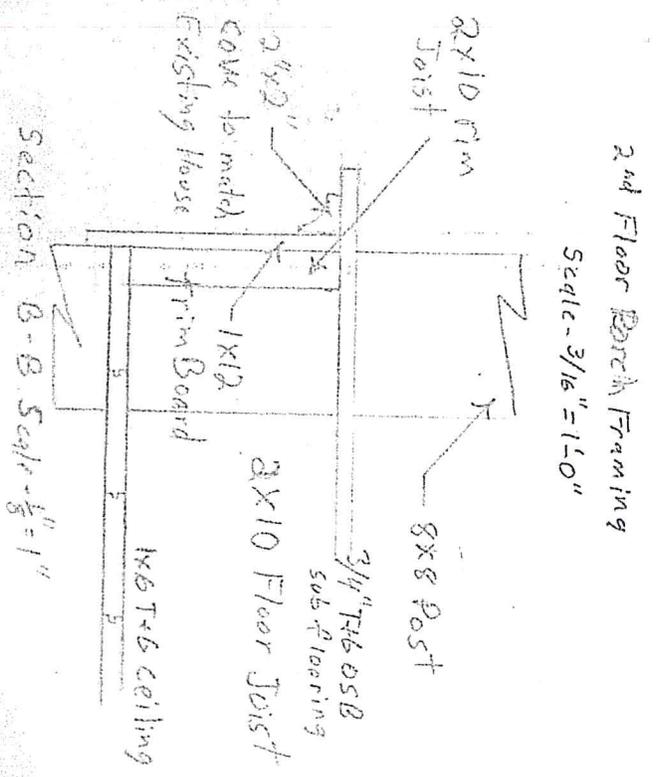
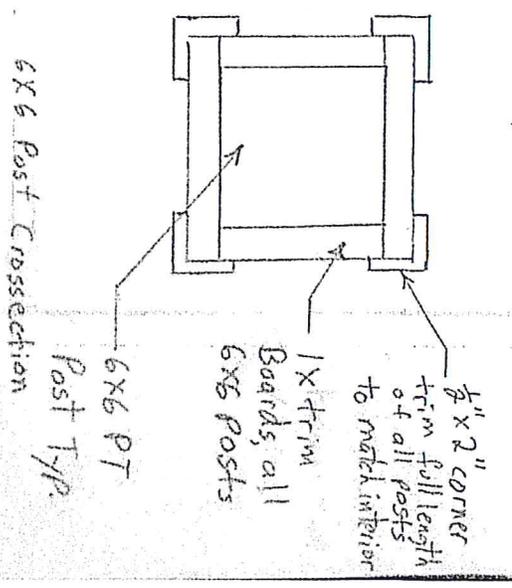
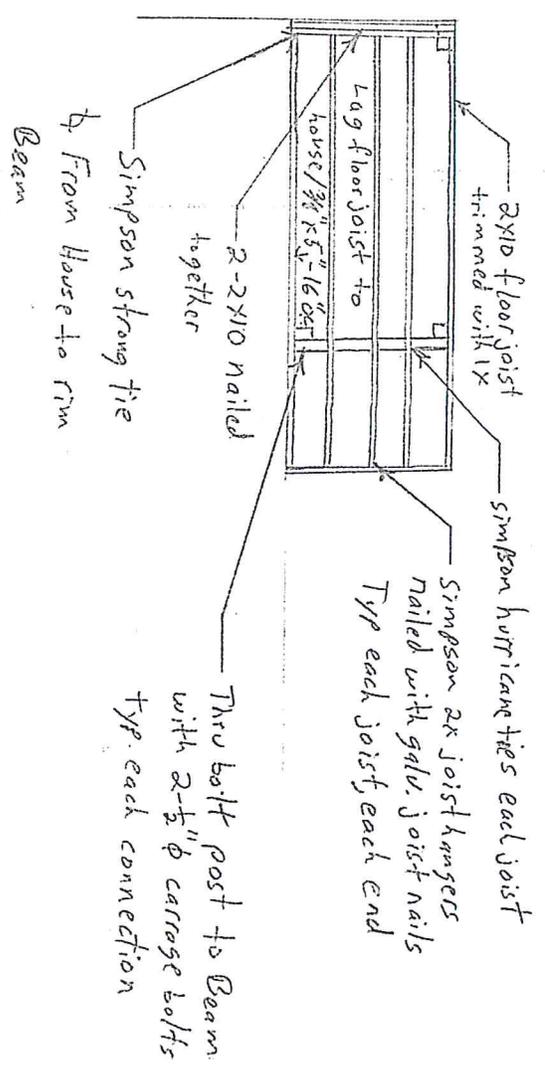
Section A-A

Scale 3/8" = 1'

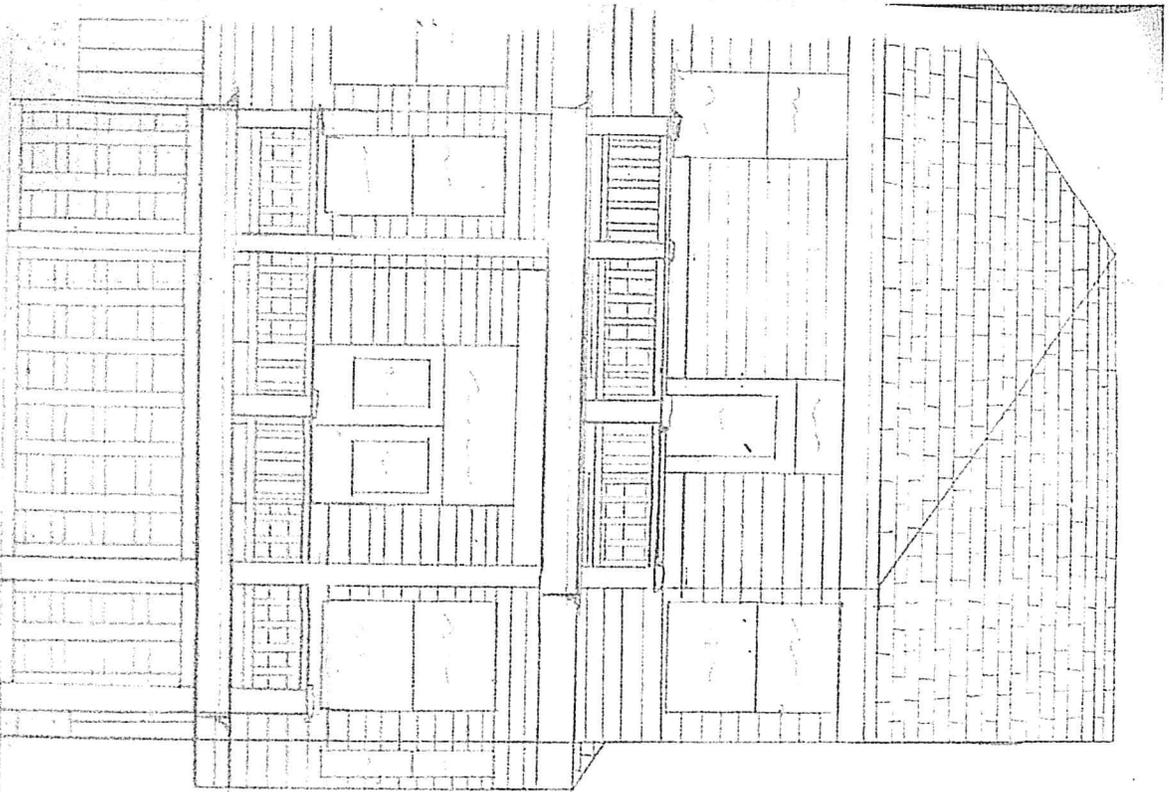


1st Floor Framing Detail

Scale - 3/8" = 1'

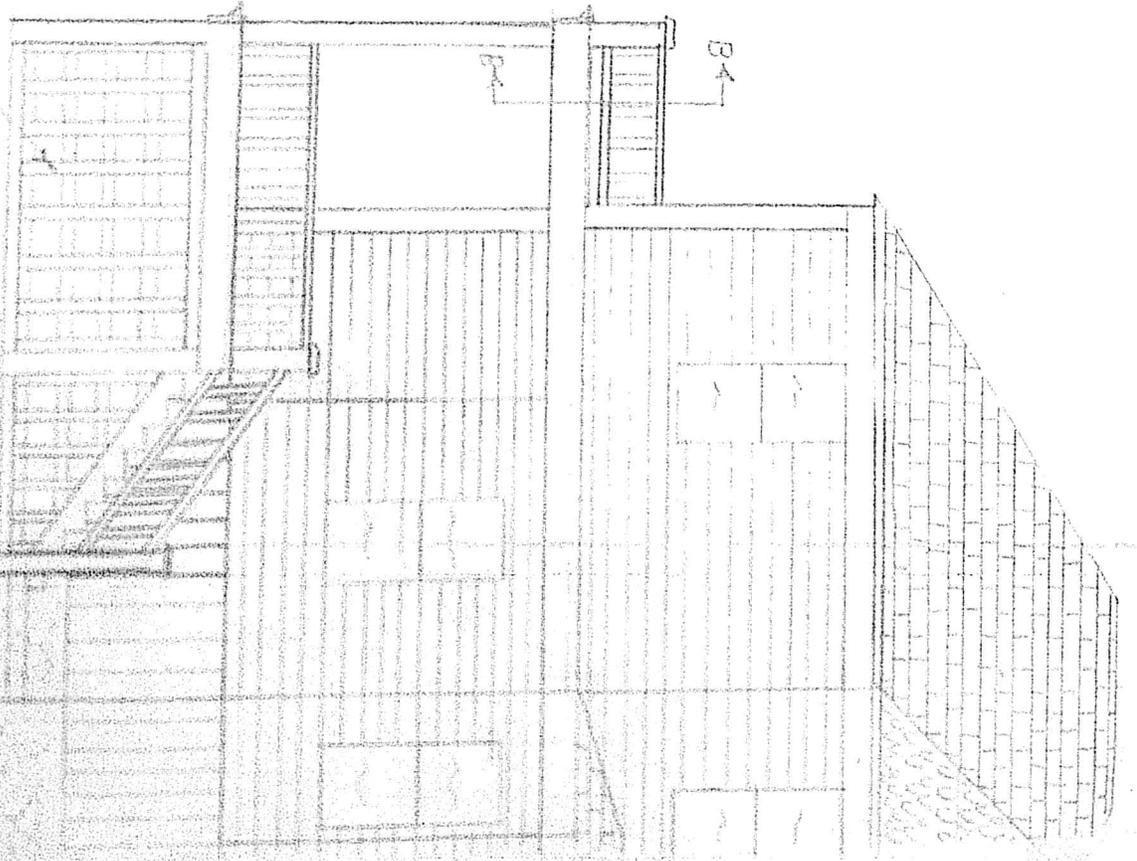


Peters Residence Porch Addition 726 27th St Astoria, OR 97103



North Elevation

Scale - 3/16" = 1'



West Elevation

Scale - 3/16" = 1'

Peters Residence Porch Addition 786 27th St. Avon, OH (732) 750-4111

1/24/10
 Scale
 3/16" = 1'



CITY OF ASTORIA
Founded 1811 • Incorporated 1856

COMMUNITY DEVELOPMENT

WAIVER OR EXTENSION OF 120 DAY RULE AT APPLICANT'S REQUEST

Applicant: Daniel Peters

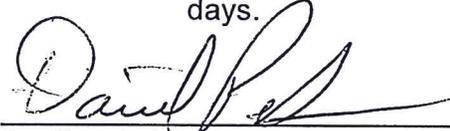
Application Request No.: Ex-Alt 15-14 rebuild exterior stairs and add 2 story porch

Date of Original Request: 12-3-15

Pursuant to ORS 227.178*, the Applicant:

 Waives its rights to a decision on the above application within 120 days of the date the application is deemed complete.

 X Extends the 120 day time period for a reasonable period of time of 34 days [ORS 227.178(4)] to May 5, 2016. Total period may not exceed 245 days.


Applicant signature

2/10/16
Date

Name: Daniel Peters

Address: 726 27th St.
Astoria, OR 97103

Phone: (970) 759-4111 email: wingnut139@hotmail.com

*** 227.178 Final action on certain applications required within 120 days; procedure; exceptions; refund of fees.** (1) Except as provided in subsections (3) and (4) of this section, the governing body of a city or its designee shall take final action on an application for a permit, limited land use decision or zone change, including resolution of all appeals under ORS 227.180, within 120 days after the application is deemed complete.

(4) The 120-day period set in subsection (1) of this section may be extended for a reasonable period of time at the request of the applicant.

(9) A city may not compel an applicant to waive the 120-day period set in subsection (1) of this section or to waive the provisions of subsection (7) of this section or ORS 227.179 as a condition for taking any action on an application for a permit, limited land use decision or zone

STAFF REPORT AND FINDINGS OF FACT

January 12, 2016

To: Historic Landmarks Commission

From : Nancy Ferber, Planner

Subject: Exterior Alteration Request (EX15-14) by Daniel Peters to rebuild exterior stairs, change one over one window to multi-lite door, replace stairs, and add a two story deck to the northwest corner elevation of existing single family dwelling located at 726 27th Street. Note: This application is in conjunction with application NC-15-08 to construct a 484 square foot garage adjacent to the house.

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- F. Zone: R-2 (Medium Density Residential)
- G. Previous Applications: None

II. BACKGROUND

A. Subject Property

The subject property is located on the Northwest corner on the east side of 27th Street. The lot is 50' x 130' (6,500 square



II. PUBLIC REVIEW AND COMMENT

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Finding: The structure is listed as an Eligible Contributing in the Adair-Uppertown Area and requires review by the HLC. Since the 2013 inventory, the second floor window has been changed to a door, no permits were obtained, the commission shall consider this request as if the work had not been completed.

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Finding: The structure was originally built as a single-family dwelling. The applicant will continue to use the property as a single-family dwelling. The

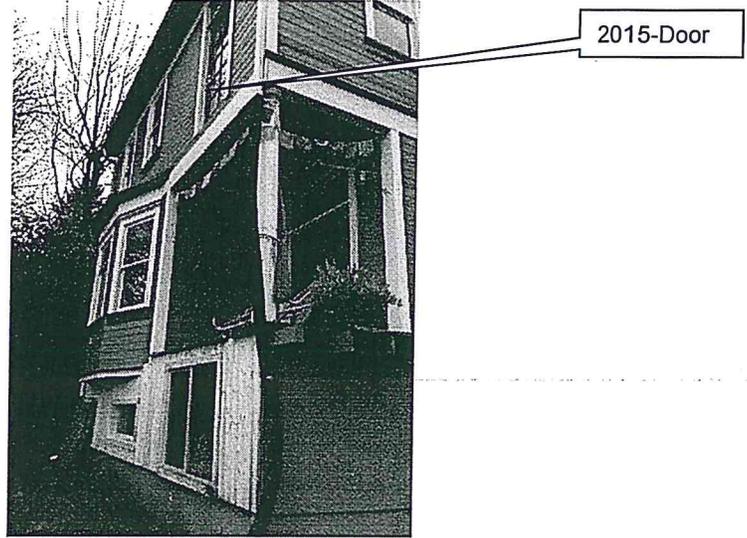


Example first floor porch

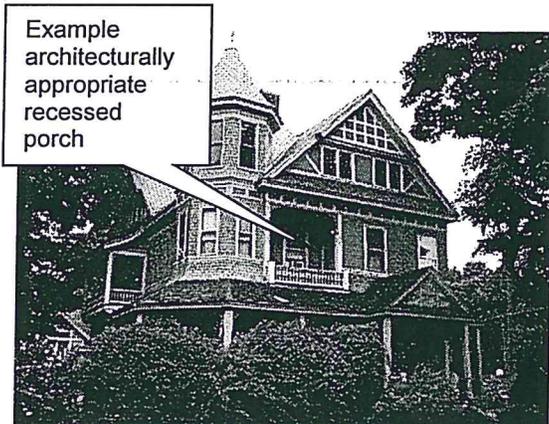
applicant is requesting to add a second story deck, and enlarge first story porch to extend beyond the plane of the house and wrapping around to west side to put stairs down to existing concrete landing pad on the side. Front porches are a typical use for this style of single-family dwelling and are prevalent in Astoria.

2. Section 6.050.F.2 states that *“the distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.”*

Finding: The applicant has removed a one over one window on the front second floor elevation, and replaced it with a multi-lite door.



The distinguishing characteristics of a Queen Anne style house included recessed porches, but do not include protruding decks. Therefore, removal of the historic window does not meet this criteria. Since the door has already been installed, the applicant should remove the door, and replace to the original one over one window. (Condition 1)



3. Section 6.050.F.3 states that *“all buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.”*

Finding: No alterations are proposed to create an earlier appearance.

4. Section 6.050.F.4 states that *“changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.”*

Finding: No alterations are proposed to features that have acquired significance.

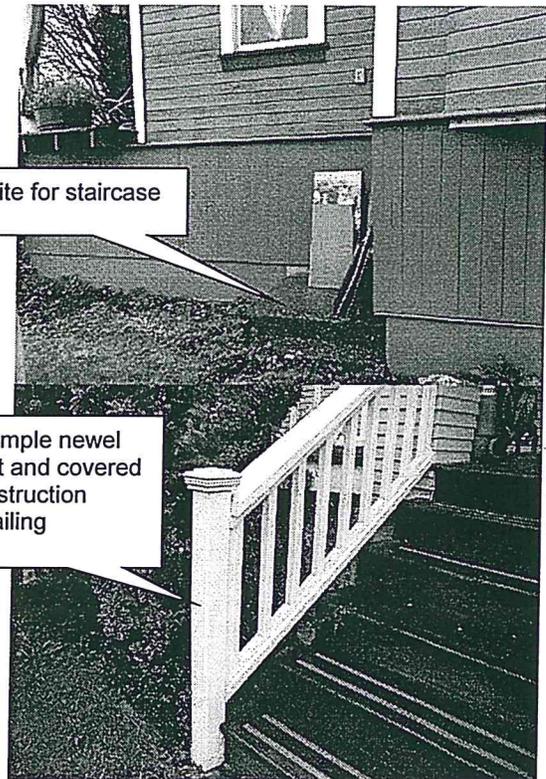
5. Section 6.050.F.5 states that *“distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.”*

Finding: The north elevation is very visible, and is the front of the structure. The Queen Anne style typically had front porches located under the roofs, and not projecting from the house. The owner is requesting to extend the porch 8' beyond the front façade. Due to the location on the primary façade, a protruding front porch does not maintain character of the Queen Anne style. A porch within the existing roofline, and wrapping around to the west elevation with stairs to the existing landing, would be similar to the original design and is appropriate. The extension of the front porch beyond the plane of the house should be denied. (Condition 2).

The proposed balustrade has upper and lower rails. Supporting posts shall be incorporated into the porch, and not exposed on the exterior, fascia board, or other cover should hide any construction detailing. (Condition 3).

The balustrade on the stairs will also have an upper and lower railing, and should end in a newel post. The upper rail should not extend beyond the newel post. (Condition 4)

The applicant is proposing a second story deck on the primary front façade. The distinguishing characteristics of a Queen Anne style house included recessed porches, but do not include protruding decks. Therefore construction of the second story deck and the change of a window to a door on the second story is not in character with the Queen Anne style. The second story deck should be denied. (Condition 5)



Since the door has already been installed, the applicant should remove the door, and replace to the original one over one window. (Condition 1)

6. Section 6.050.F.6 states that *“deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate*

duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.”

6.050.C.2.b.2, Type I Certificate of Appropriateness - Immediate Approval, states that *“Installation of contemporary composite material on the flat decking area of porches, decks, and/or stair treads.”*

Finding: The porch and stairs have deteriorated beyond repair. The applicant is proposing to reconstruct that portion of the first story porch similar to the original. The balustrade is proposed to be wood; the flat decking proposed is a plastic composite material, which is allowable per section 6.050.C.2.b.2.

7. Section 6.050.F.7 states that *“the surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.”*

Finding: No surface cleaning is proposed.

8. Section 6.050.F.8 states that *“every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.”*

Finding: Archaeological resources, if any, will not be affected.

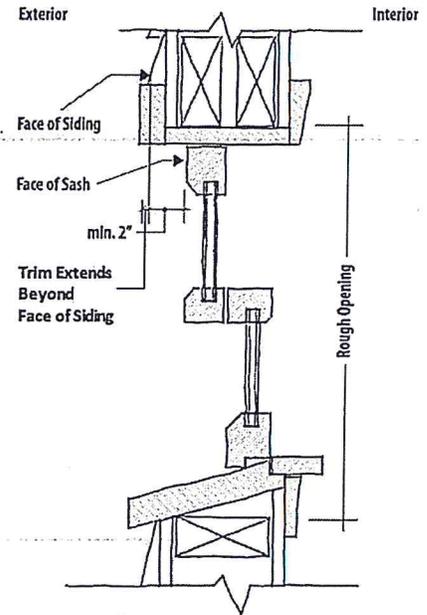
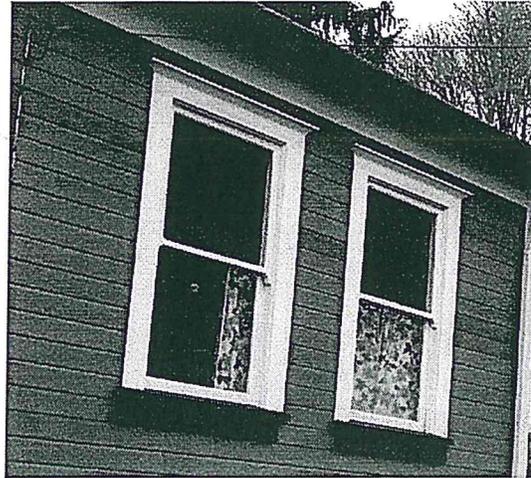
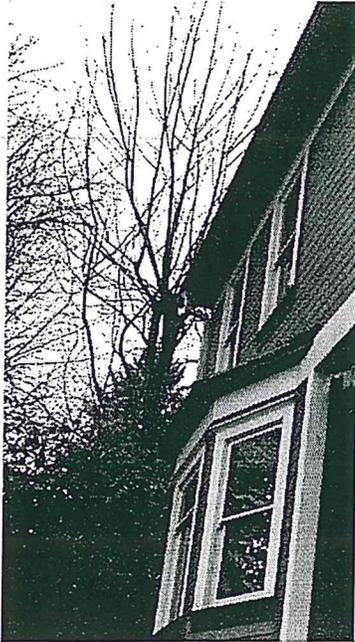
9. Section 6.050.F.9 states that *“contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and addition do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood or environment.”*

Finding: A protruding front porch and second story deck with door are contemporary designs. While contemporary alterations are not discouraged, the proposed alteration does destroy significant architectural design. Due to the primary façade location, the proposed deck and porch are not in scale with the typical Queen Anne style porches.

10. Section 6.050.F.10 states that *“wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.”*

Finding: Some features could be removed and the essential form and integrity of the structure would be unimpaired.

Supplemental photos: Existing windows on site:



V. CONCLUSION AND RECOMMENDATION

Portions of the request do not meet the criteria. With the conditions noted, the request in balance, meets all the applicable review criteria. Staff recommends approval of the request with the following conditions:

1. The applicant shall remove the second story door, and replace with a one over one window.
2. The extension of the front porch beyond the plane of the house shall not be constructed.
3. Supporting posts shall be incorporated into the porch, and not exposed on the exterior. A fascia board or other cover shall hide any construction detailing.
4. The balustrade on the stairs shall have an upper and lower railing, and shall end in a newel post. The upper rail shall not extend beyond the newel post.
5. The second story deck shall not be constructed.
6. Significant changes or modifications to the proposed plans as described in this Staff Report shall be reviewed by the Historic Landmarks Commission.

The applicant should be aware of the following requirements: The applicant shall obtain all necessary City and building permits prior to the start of construction.



CITY OF ASTORIA
 Founded 1811 • Incorporated 1856
 COMMUNITY DEVELOPMENT

revised 11-24-15

EX 15-14

FEE: \$100.00
Waived Per KC 12-2-15

EXTERIOR ALTERATION FOR HISTORIC PROPERTY

Property Address: 726-27th St
 Lot ^{North 1/4 of lot 6} 6 Block 34 Subdivision Adair Schively
 Map 9CC Tax Lot 4600 Zone R-2 Slide zone

For office use only:

Classification: deq - Contrib Inventory Area: Adair Upper town Inventory Area

Applicant Name: Daniel Peters

Mailing Address: 726 27th St. Astoria, OR. 97103

Phone: 470759-4111 Business Phone: _____ Email: Luina@139@hotmail.com

Property Owner's Name: Daniel Peters

Mailing Address: same as above

Business Name (if applicable): _____

Signature of Applicant: Daniel Peters

Signature of Property Owner: Daniel Peters

Existing Construction and Proposed Alterations: See KC-15-08
Rebuild exterior stairs and add 2-story deck to NW elevation
of existing single family dwelling. corner and change
Level window to multi-light
door on North elevation (2nd floor)
on

For office use only:			
Application Complete:	-	Permit Info Into D-Base:	<u>12-3-15</u>
Labels Prepared:	<u>12-3-15</u>	Tentative HLC Meeting Date:	<u>1-19-16</u>
120 Days:			<u>C</u>

FILING INFORMATION: Historic Landmarks Commission meets at 5:15 pm on the third Tuesday of each month. Complete applications must be received by the 13th of the month to be on the next month's agenda. A pre-application meeting with the Planner is required prior to the acceptance of the application as complete. **Only complete applications will be scheduled on the agenda.** Your attendance at the Historic Landmarks Commission meeting is recommended.

Briefly address each of the Exterior Alteration Criteria and state why this request should be approved. (Use additional sheets if necessary.):

1. Every reasonable effort shall be made to provide a compatible use for a property which requires minimal alteration of the building, structure, or site and its environment, or to use a property for its originally intended purpose.

2. The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.

3. All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.

4. Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.

5. Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.

6. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.

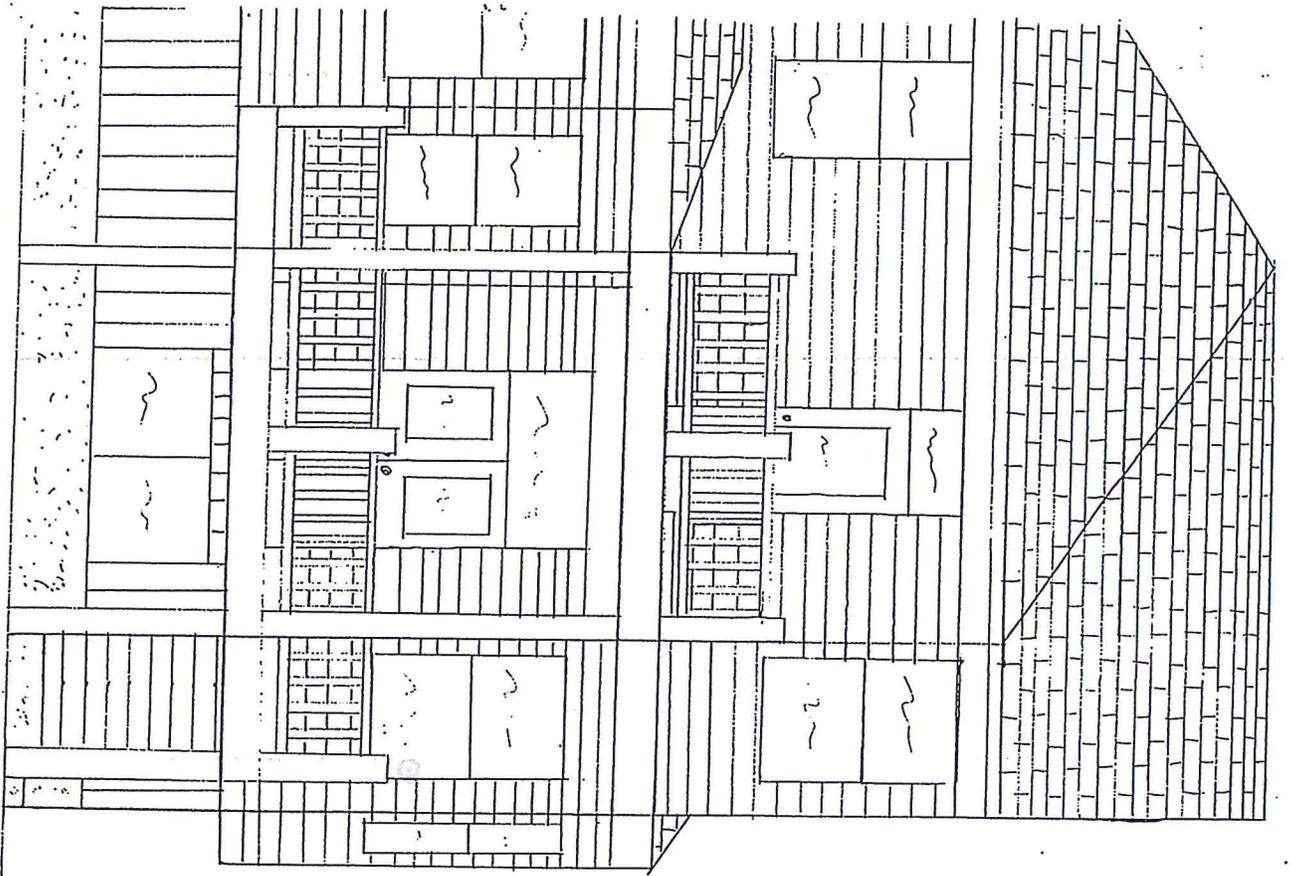
7. The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.

8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.

9. Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and addition do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood or environment.

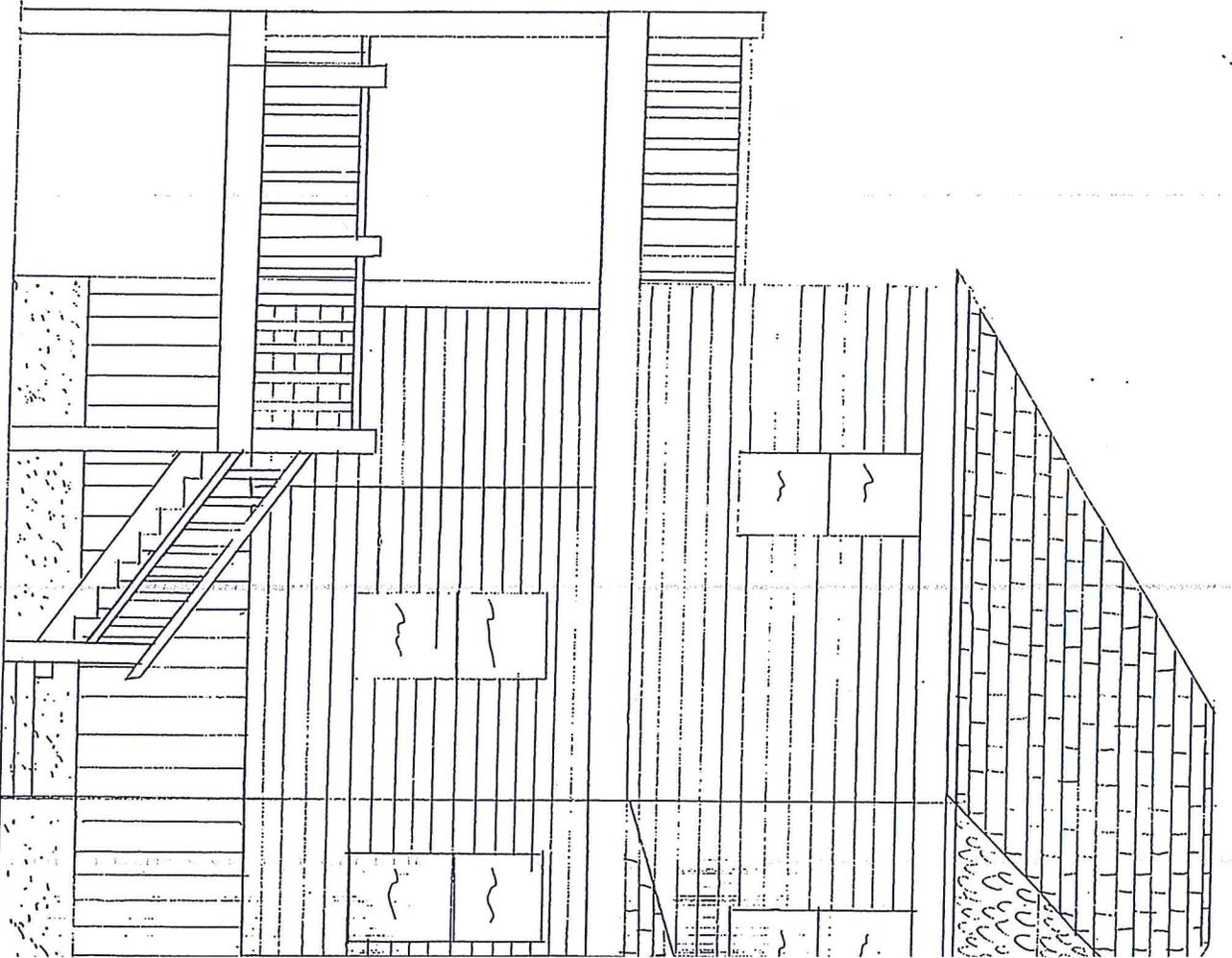
10. Wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

PLANS: A site plan indicating location of structure on the property and the location of the proposed alterations is required. Diagrams showing the proposed alterations indicating style and type of materials proposed to be used. Scaled free-hand drawings are acceptable. The City may be able to provide some historic technical assistance on your proposal.



North Elevation

Scale $\frac{3}{16}'' = 1'$

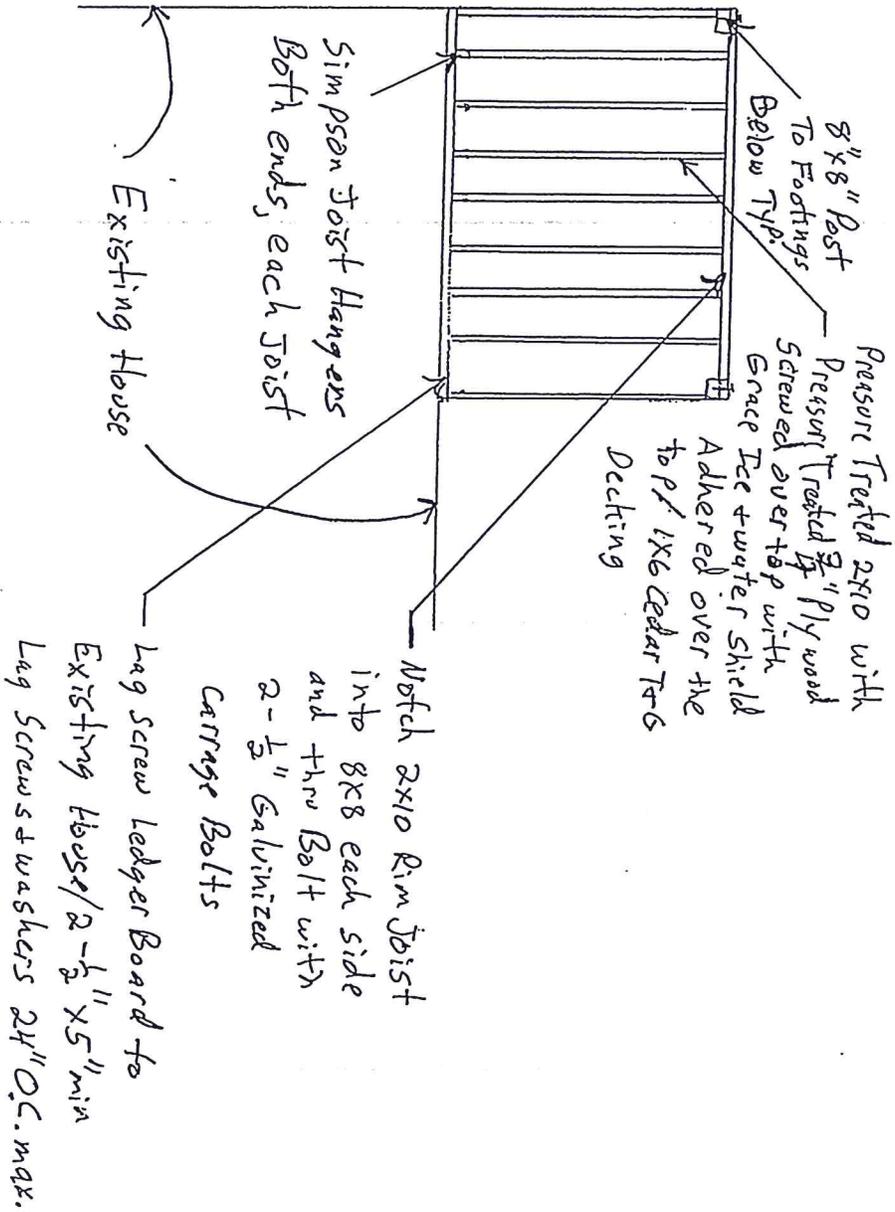


West Elevation

Scale $\frac{3}{16}'' = 1'$

Patton, Donaldson, C. J. 111111

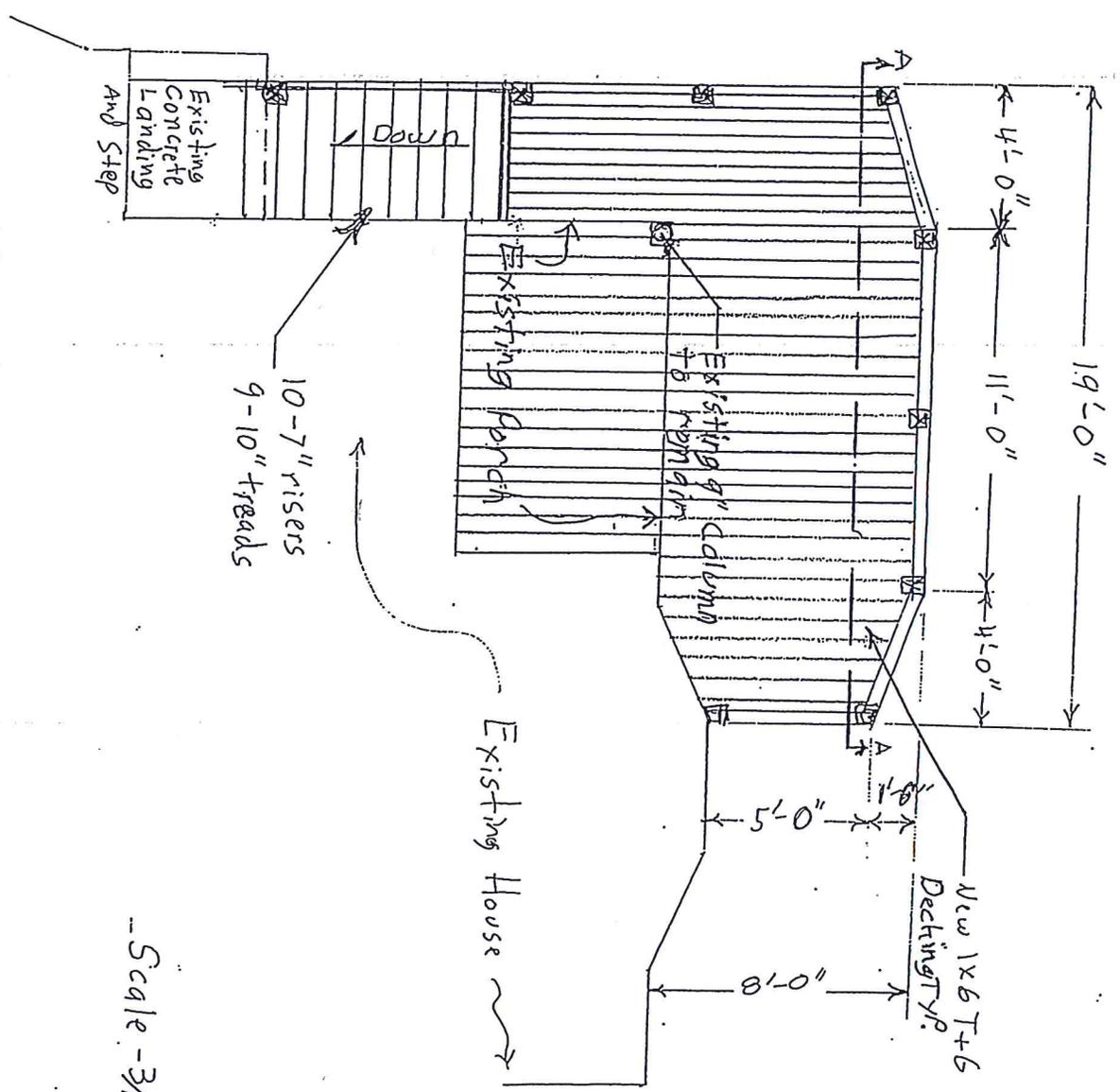
sloped down $\frac{1}{8}$ " / foot min.



2nd Floor Deck Framing... Detail

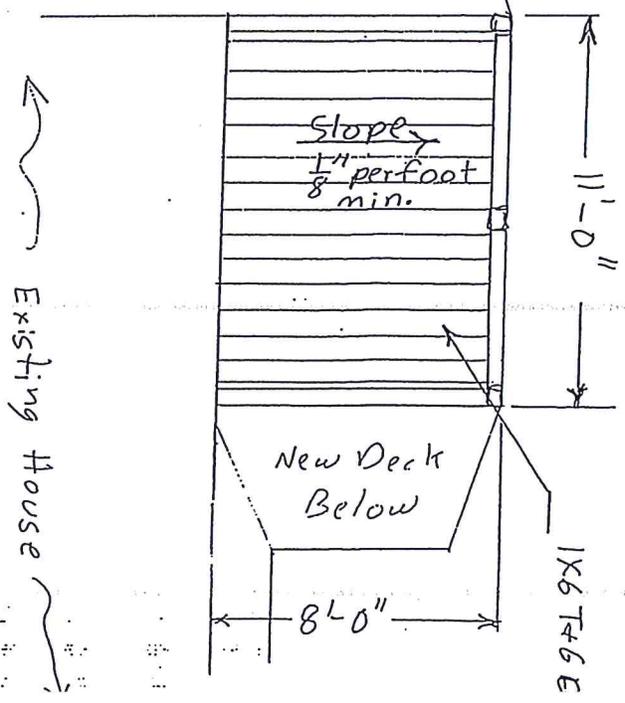
Scale 3/16" = 1'

New 1st Floor Deck
And Replacement Stairs



Scale - 3/16" = 1'-0"

New Deck and Stairs Below

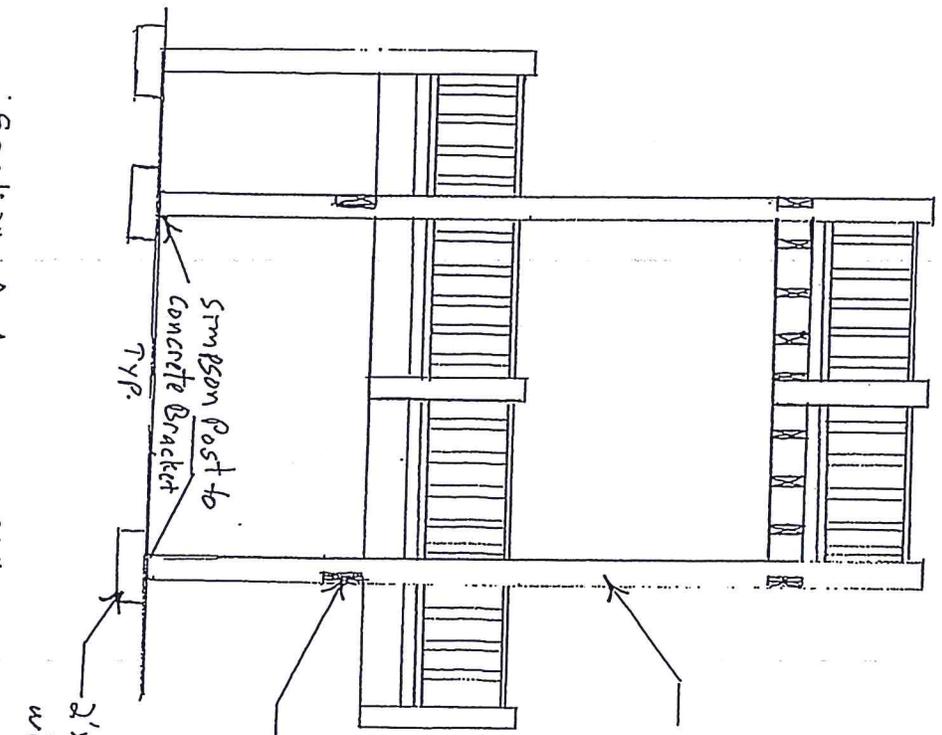


New 2nd Floor Deck

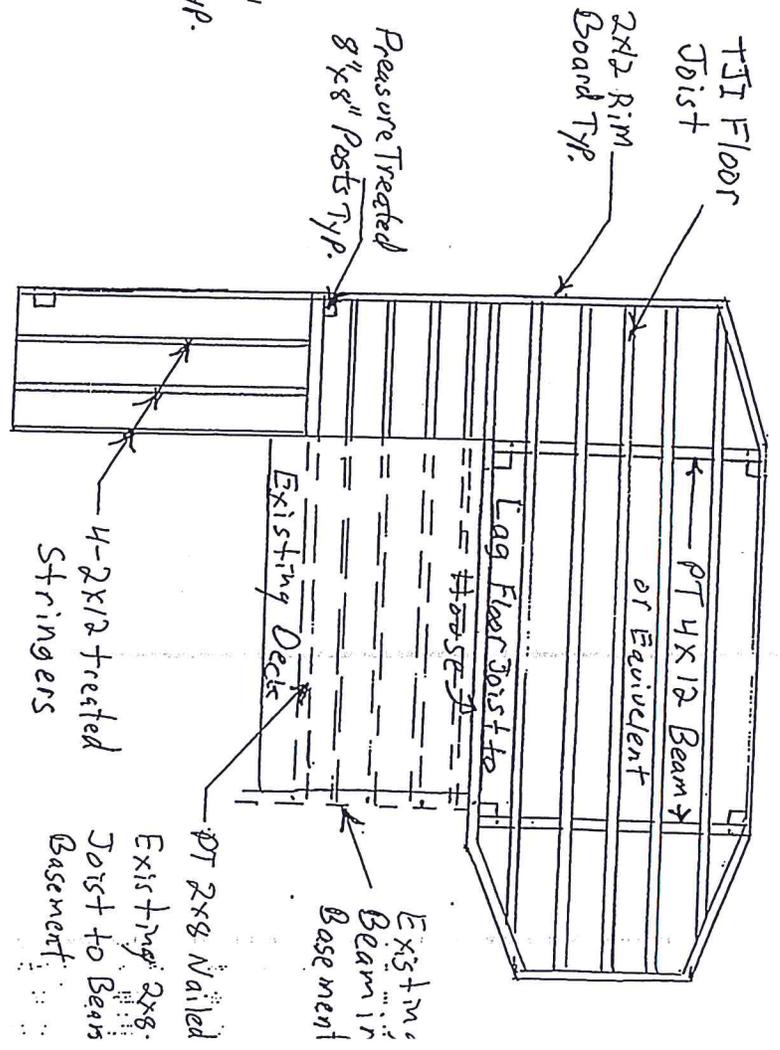
Existing House

Section A-A

Scale 3/16" = 1'



2' x 2' x 8" thick concrete footing with 2-#4 rebar each way Typ.



1st Floor Framing Detail

Scale - 3/16" = 1'

Oregon Historic Site Form

Carlson, Gustaf A & Sophia, House
726 27th Ave
Astoria, Clatsop County

LOCATION AND PROPERTY NAME

address: 726 27th Ave apprx. addr

historic name: Carlson, Gustaf A & Sophia, House

Astoria vcnt Clatsop County

current/
other names:

Optional Information

assoc addresses:
(former addresses, intersections, etc.)

location descr:
(remote sites)

block nbr: 34 lot nbr: 6 tax lot nbr: 4600

township: 8N range: 9W map #: 09CC

zip: 97103

PROPERTY CHARACTERISTICS

resource type: Building height (# stories): 2

total # eligible resources: 1 total # ineligible resources: _____

elig. evaluation: eligible/contributing

NR status: _____

primary constr date: 1908 (c.) secondary date: _____ (c.)
(optional--use for major addns)

NR date listed: _____ (indiv listed only; see
Grouping for hist dist)

primary orig use: Single Dwelling

orig use comments: _____

secondary orig use: _____

primary style: Queen Anne

prim style comments: _____

secondary style: Vernacular

sec style comments: _____

primary siding: Horizontal Board

siding comments: _____

secondary siding: _____

plan type: _____

architect: _____

builder: _____

comments/notes: **Wood frame, gable roof structure with shiplap siding. 1/1 double-hung windows with lamb's tongue, casings with crown moldings. Decorative features include enclosed eaves, frieze, beltcourse, cornerboards, watertable, patterned shingles in gable ends, bay windows (north and west).**

GROUPINGS / ASSOCIATIONS

survey project name or other grouping name: Astoria Adair-Uppertown RLS 2013 Potential Historic District

farmstead/cluster name:

external site #: _____
(ID# used in city/agency database)

SHPO INFO FOR THIS PROPERTY

NR date listed: _____

ILS survey date: _____

RLS survey date: 3/1/2013

Gen File date: _____

106 Project(s)

Oregon Historic Site Form

Carlson, Gustaf A & Sophia, House
726 27th Ave
Astoria, Clatsop County

ARCHITECTURAL / PROPERTY DESCRIPTION

(Include expanded description of the building/property, setting, significant landscape features, outbuildings, and alterations)

Alterations include two shed roof additions, south; removal of front porch steps and rail; removal of some skirting.

House has historic addition, first floor south, as well as reconfiguration of northwest corner.

HISTORY

(Chronological, descriptive history of the property from its construction through at least the historic period [preferably to the present])

Sanborn Fire Insurance maps do not cover this area of the neighborhood prior to 1908. City directories list the earliest known resident at this address in 1908: Gustaf Alfred Carlson. Gus Carlson, a fisherman, lived here with his wife, Sophia Catherine Anderson Carlson, and family until Sophia's death in 1944. Carlson continued living here alone through the 1950s and until his death. Its prominent setting high on a hill with a view of the Columbia River is noteworthy.

RESEARCH INFORMATION

(Check all of the basic sources consulted and cite specific important sources)

- | | | | |
|--|--|---|---|
| <input type="checkbox"/> Title Records | <input type="checkbox"/> Census Records | <input type="checkbox"/> Property Tax Records | <input type="checkbox"/> Local Histories |
| <input checked="" type="checkbox"/> Sanborn Maps | <input type="checkbox"/> Biographical Sources | <input type="checkbox"/> SHPO Files | <input type="checkbox"/> Interviews |
| <input type="checkbox"/> Obituaries | <input checked="" type="checkbox"/> Newspapers | <input type="checkbox"/> State Archives | <input type="checkbox"/> Historic Photographs |
| <input checked="" type="checkbox"/> City Directories | <input type="checkbox"/> Building Permits | <input type="checkbox"/> State Library | |

Local Library: _____

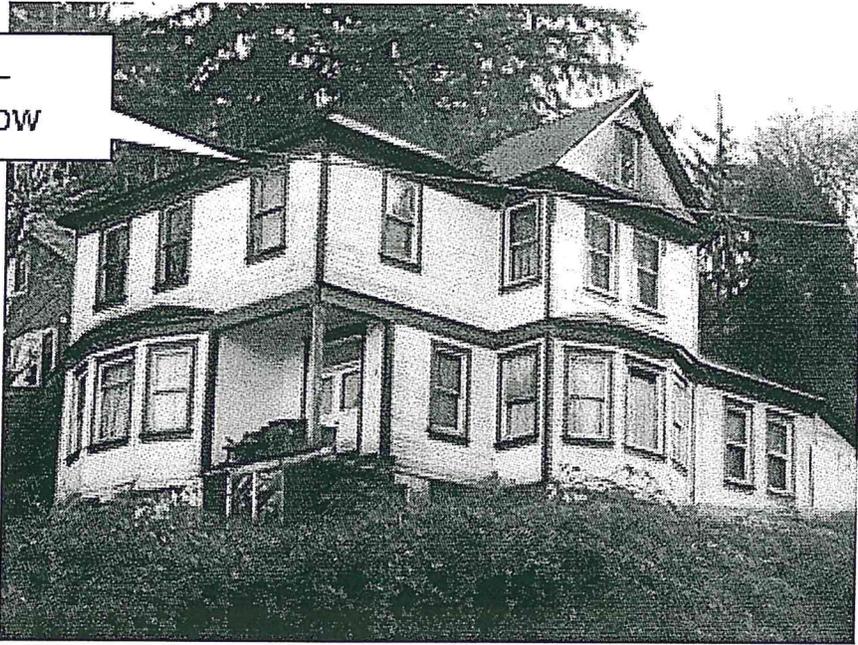
University Library: _____

Historical Society: _____

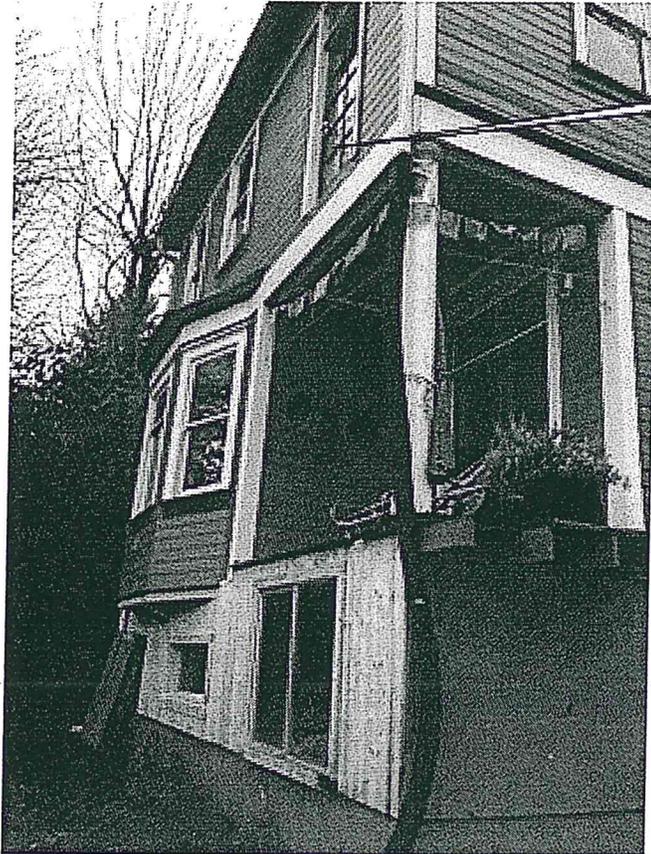
Other Repository: _____

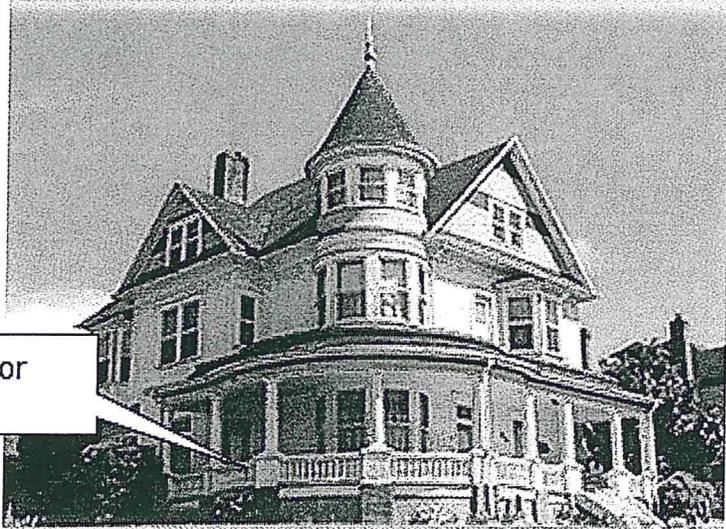
Bibliography: Sanborn-Perris Map Co. 1896, 1908
Polk's Astoria City Directory 1904-1949
Astoria Daily Budget 9/16/04
Astoria Budget 6/24/44:2

2013-
window



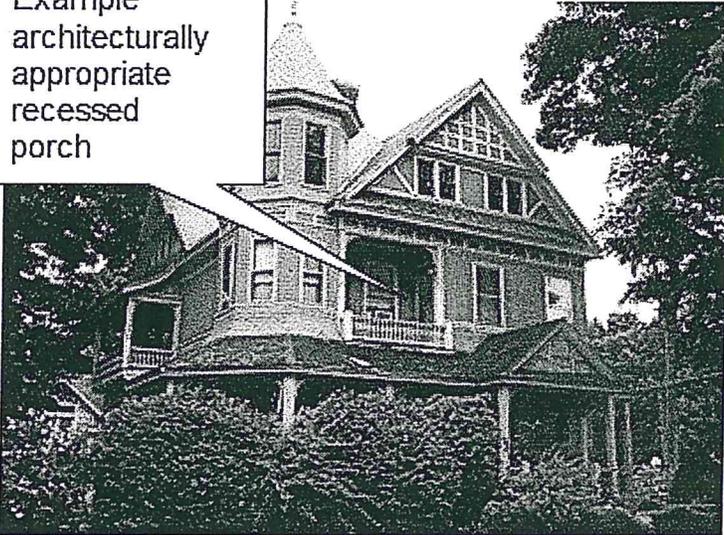
2015-Door



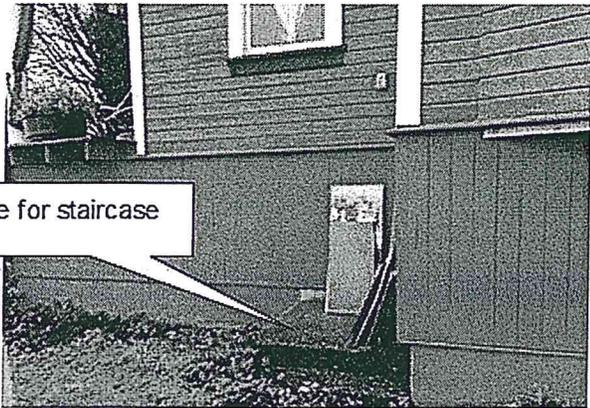


Example first floor porch

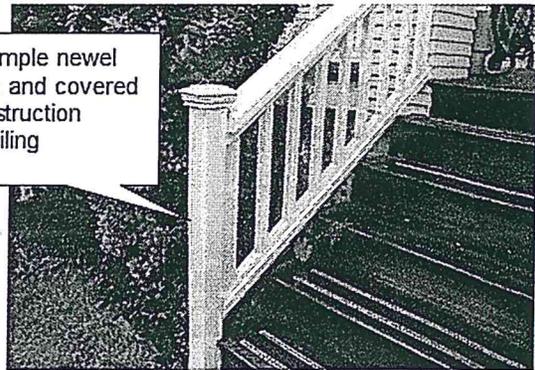
Example architecturally appropriate recessed porch



Site for staircase



Example newel post and covered construction detailing





CITY OF ASTORIA
Founded 1811 • Incorporated 1856

COMMUNITY DEVELOPMENT

MEMORANDUM

DATE: March 8, 2016
TO: HISTORIC LANDMARKS COMMISSION
FROM: SHERRI WILLIAMS, COMMUNITY DEVELOPMENT *Sh*
SUBJECT: 2016 DR. EDWARD HARVEY PRESERVATION AWARDS

CITY OF ASTORIA
HISTORIC LANDMARKS COMMISSION
DR. EDWARD HARVEY HISTORIC PRESERVATION AWARD

The City of Astoria Historic Landmarks Commission is seeking nominations for the Dr. Edward Harvey Historic Preservation Award. The award is presented each year to recognize a property owner who has completed exterior restoration or beautification of a building which exemplifies the historical attributes of the building or the architectural heritage of Astoria. The work must have been completed within the last two years. Nominations may include residential, commercial, public, and other types of buildings. The awards will be presented by the Mayor to celebrate National Historic Preservation Week in May.

Anyone wishing to submit a nomination should contact Sherri Williams at the City of Astoria, 338-5183, or send a nomination (no form required) to the Community Development Department, City of Astoria, 1095 Duane Street, Astoria OR 97103. Nominations must be received no later than 5:00 pm on **April 15, 2016**.

* * *

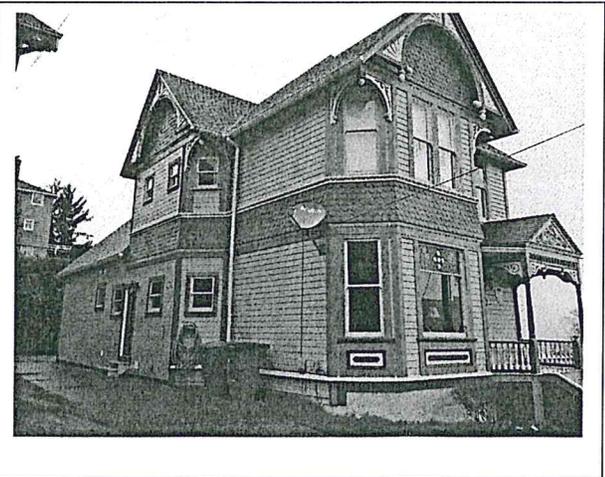
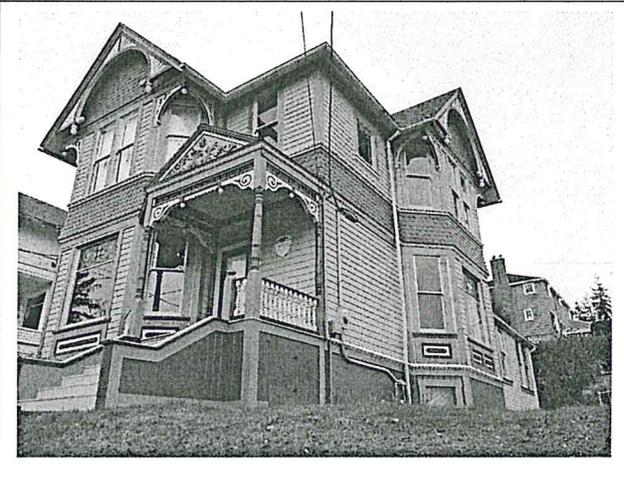
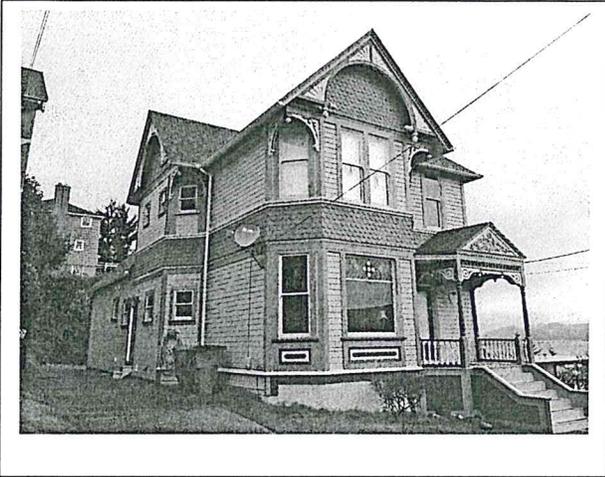
DR. EDWARD HARVEY AWARD

This Award is named for Dr. Edward Harvey who was a pioneer in recognizing the importance of historic preservation in Astoria. His original efforts of placing plaques denoting the brief history of a building are still seen throughout the City. He lobbied the Clatsop County Commissioners to establish a Historic Advisory Committee of which he served as the chairman for many years.

The Award has been presented yearly since 1988 to owners of residential, commercial, or public buildings who have completed exterior painting, rehabilitation, restoration, or beautification projects which have been sensitive to the historical attributes of the building and/or the architectural heritage of Astoria.

813 14th
February 19, 2016

EX-14-07

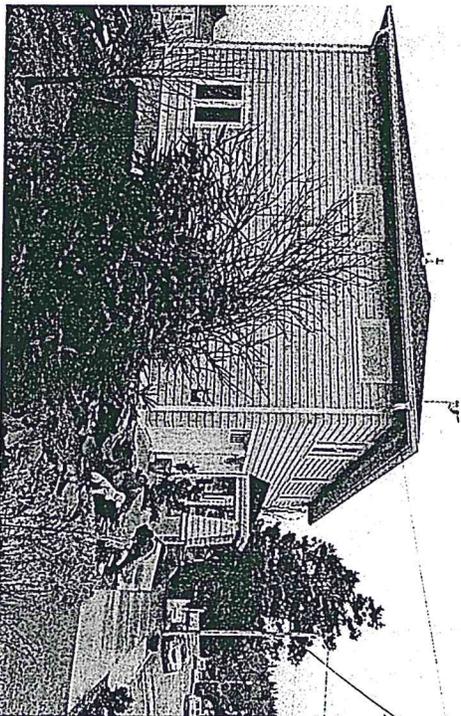
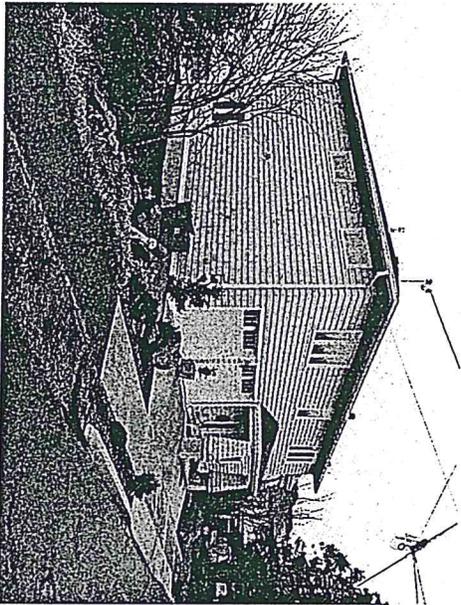
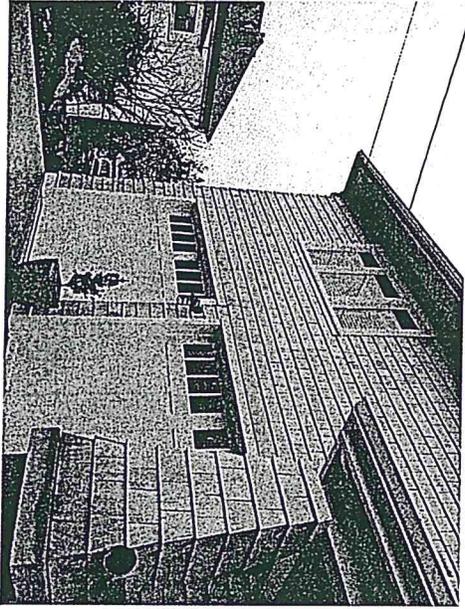
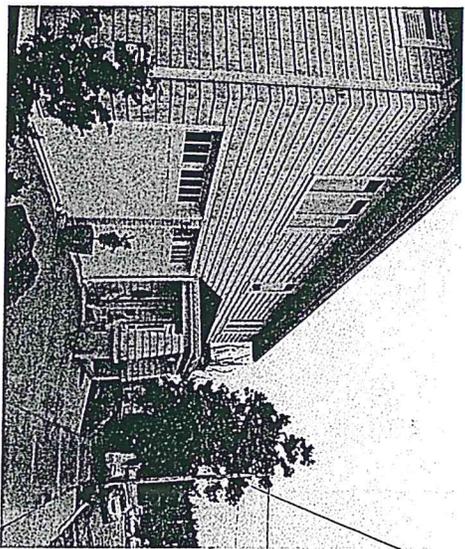
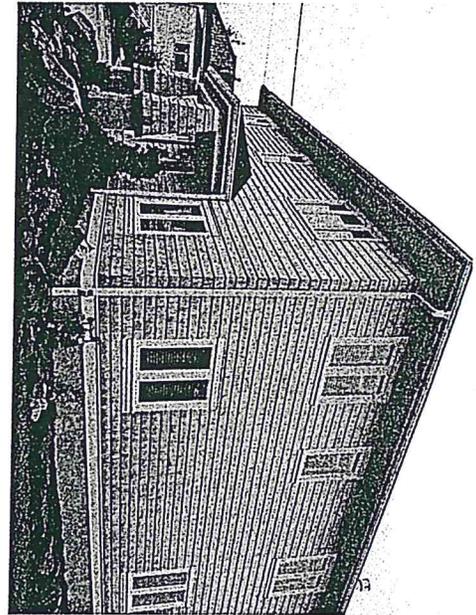
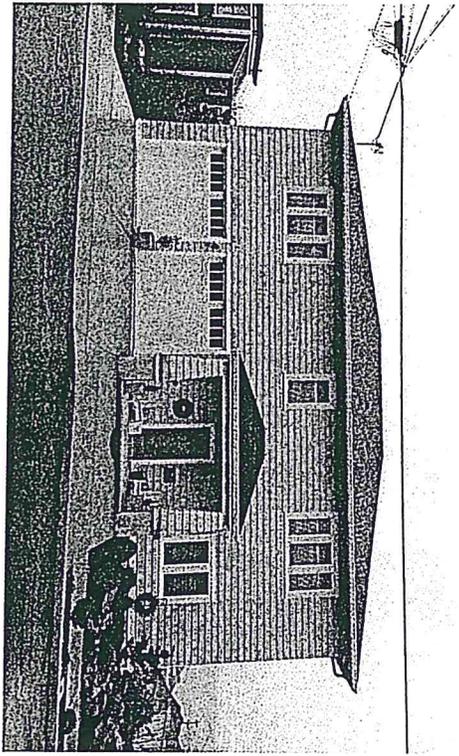


Project description

-location of dish was not part of this permit,
cannot be highly visible from front elevation

Mary Foster

1542 Grand
NC15-02 and V14-18
12-29-15



NC 15-02 at 1542 Grand, 2 story residence with variance for setback, porch on south side and deck on north elevation. cedar shingles, no ornamentation, cedar apron below windows, single, paired and triples. Garage doors with glass, tapered columns with capitol molding on concrete pedestals.

Approved - N.E.
12/29/15
Murray Foster

