



AGENDA

HISTORIC LANDMARKS COMMISSION

April 19, 2016

5:15 p.m.

2nd Floor Council Chambers

1095 Duane Street • Astoria OR 97103

1. CALL TO ORDER
2. ROLL CALL
3. MINUTES
 - a. March 15, 2016
4. PUBLIC HEARINGS
 - a. Exterior Alteration EX15-14 by Daniel Peters to rebuild the exterior stairs and add a two-story deck on the NW corner elevation and change a 1:1 window to multi-light door on the North elevation (2nd floor) of an existing single family dwelling at 726 27th Street in the R-2, Medium Density Residential zone. This item was continued from the March 15, 2016 meeting.
 - b. Exterior Alteration EX16-02 by Michelle Dieffenbach, Rickenbach Construction for Trish Bright to install an iron gate at the main entrance of an existing historic commercial building to restrict access when the building is unoccupied at 1215 Duane in the C-4, Central Commercial zone.
 - c. Exterior Alteration EX16-03 by Clyde Manchester to install a door on the garage and replace siding on an existing building at 328 Alameda in the R-3, High Density Residential zone.
5. PRESENTATION
 - a. City Support Engineer Cindy Moore will give a presentation on the Waterfront Bridge Replacements

THIS MEETING IS ACCESSIBLE TO THE DISABLED. AN INTERPRETER FOR THE HEARING IMPAIRED MAY BE REQUESTED UNDER THE TERMS OF ORS 192.630 BY CONTACTING SHERRI WILLIAMS, COMMUNITY DEVELOPMENT DEPARTMENT, 503-338-5183.

6. REPORT OF OFFICERS
 - a. CLG Award
 - b. Columbia Pacific Preservation Update
 - c. Training Opportunities
 - d. Dr. Harvey Award – Call for Nominations
7. PUBLIC COMMENT (Non-Agenda Items)
8. ADJOURNMENT

HISTORIC LANDMARKS COMMISSION MEETING

City Council Chambers
March 15, 2016

CALL TO ORDER – ITEM 1:

A regular meeting of the Astoria Historic Landmarks Commission (HLC) was held at the above place at the hour of 5:15 p.m.

ROLL CALL – ITEM 2:

Commissioners Present: President LJ Gunderson, Vice President Michelle Dieffenbach, Commissioners Jack Osterberg, Paul Caruana, and Thomas Stanley.

Commissioners Excused: Mac Burns and Kevin McHone.

Staff Present: Planner Nancy Ferber and Community Development Director Kevin Cronin. The meeting is recorded and will be transcribed by ABC Transcription Services, Inc.

APPROVAL OF MINUTES – ITEM 3(a):

President Gunderson asked if there were any changes to the minutes. There were none.

Commissioner Stanley moved to approve the minutes of February 16, 2016 as presented; seconded by Vice President Dieffenbach. Ayes: President Gunderson, Vice President Dieffenbach, Commissioners Caruana, Osterberg, and Stanley. Nays: None.

PUBLIC HEARINGS:

President Gunderson explained the procedures governing the conduct of public hearings to the audience and advised that the substantive review criteria were listed in the Staff report.

ITEM 4(a):

EX15-14 Exterior Alteration EX15-14 by Daniel Peters to rebuild the exterior stairs and add a two-story deck on the NW corner elevation and change a 1:1 window to multi-lite door on the North elevation (2nd floor) of an existing single family dwelling at 726 27th Street in the R-2, Medium Density Residential zone. The application was continued from the February 16, 2016 meeting.

President Gunderson asked if anyone objected to the jurisdiction of the HLC to hear this matter at this time. There were no objections. President Gunderson asked if any member of the HLC had a conflict of interest, or any ex parte contacts to declare. None declared. President Gunderson requested a presentation of the Staff report.

Planner Ferber presented the Staff report and recommended approval with conditions.

Commissioner Osterberg asked if Staff had received a written response to each of the criteria from the Applicant. Planner Ferber said Staff did not receive a narrative, but she had met the Applicant on site to discuss the issues.

President Gunderson asked which changes were suggested by John Goodenberger. Planner Ferber said Mr. Goodenberger had provided ideas about the design of the newel posts, suggested the front porch extend all the way to the bay window, and that lattice work be added underneath the porch and stairs. She understood that the renderings on Page 6 of the Staff report were based on a discussion between Mr. Goodenberger and the Applicant about the design issues.

President Gunderson asked if Mr. Goodenberger supported what was proposed for the upstairs. Planner Ferber explained that if the Applicant were to do the upstairs, he would be required to complete all of the specific

modifications listed in the Staff report. A double porch is not traditional for Queen Anne style homes, but Mr. Goodenberger has said that if the double porch were to be built, it would need to be built as described in the Staff report. However, Mr. Goodenberger never indicated whether he was in favor of or opposed to the double porch on this house.

Commissioner Osterberg believed the Staff report indicated the porch would not meet the criteria for approval even with all of the compromises, which only affect a few things.

Commissioner Caruana said he reviewed the Staff report online and it appeared as if Staff had no desire to approve the second story deck. Planner Ferber confirmed Staff has remained neutral and the Staff report indicates how the deck does and does not meet the criteria. It is up to the HLC to decide whether the deck is appropriate.

President Gunderson opened public testimony for the hearing and asked for the Applicant's presentation.

Daniel Peters, 726 27th Street, Astoria, said he met with both Planner Ferber and Mr. Goodenberger. Mr. Goodenberger met with him primarily at the house and suggested the porch be narrower and longer. The first floor deck is the same width as the side of the house and he shortened it by two feet. Mr. Goodenberger suggested he lower the handrail to make it more similar to a height used in the 1900s and increase the length of the second floor porch so that it extended over the bay window, but leave the width at six feet. Lattice work is typical for a Queen Anne era house. When he purchased the house, the real estate agent told him the house would be bulldozed if he had not bought it. He has done extensive remodeling to bring the house back to the way it was with the same windows and everything as original as possible. He just wants a place to have a cup of coffee with his wife on the second floor and have friends over to watch the ships go by, which he can only do now by looking through the windows of the house. He is trying to make the house look as original as possible and has done everything that has been asked of him by Mr. Goodenberger and Planner Ferber. He has brought the house back and made it look like a nice place. Mill Pond is one of the few places in the city from where the house can be seen. The house can also be seen from the Riverwalk, but it is so far away that the front is difficult to see. He would like to be able to make the outside of the house better than it is now.

Commissioner Osterberg asked if Mr. Peters agreed with Mr. Goodenberger's recommendations and planned to implement them. He also wanted to know what Mr. Peters thought about the conditions of approval listed on Pages 8 and 9 of the Staff report. Mr. Peters said he wanted to build a deck so that he can use it. The upstairs deck is bigger than what he originally needed, but if Mr. Goodenberger believes the larger size will make the deck look historically correct, he was fine with it. While the square footage is about the same, the recommended deck is longer. He just needs a spot for him and his wife to sit and have a cup of coffee. The bottom deck will be used as a place to sit and watch the ships go by when he has friends over. Only two people can sit on the existing recessed deck, so guests must sit in the house or in the grass. He has been on the Riverwalk and from his house, there is a very small window of visibility to anywhere else. He understood the house is historic and that is why Mr. Goodenberger and Planner Ferber came over. He is trying to keep the historic theme of what already exists. Most of the houses in the neighborhood are Queen Anne houses with protruding decks, so he did not understand why Staff has said Queen Anne style houses do not typically have protruding decks. According to paperwork he has, all Queen Anne houses have protruding decks. This paperwork was included in the original Staff report. He did not bring any photographs of Queen Anne houses with protruding decks because he did not believe it would be part of the issues now. However, photographs of Queen Anne houses with protruding decks in his neighborhood were included in the original Staff report from January.

Director Cronin confirmed Staff was looking for the photographs in the January Staff report and in documents that may have been submitted during the January public hearing. President Gunderson did not recall seeing any such photographs during the January hearing. Commissioner Osterberg remembered hearing the Applicant describe photographs of other houses in the area that showed protruding decks at the January hearing, but the photographs were not submitted at that time. He also remembered telling the Applicant that since the hearing would be continued, the photographs could be submitted to the City. However, he did not see that those photographs had been submitted by the Applicant. Mr. Peters believed the original Staff report that he received included those photographs.

Commissioner Osterberg understood that the Applicant agreed with all of the conditions listed in the Staff report. Mr. Peters said the new drawings, which are based on Mr. Goodenberger's recommendations, reflect that his plans had changed to accommodate Conditions of Approval 1(a), 2(a), and 3(a).

President Gunderson called for any presentations by persons in favor of, impartial to, or against the application. Seeing none, she called for closing remarks of Staff. There were none. She closed the public testimony portion of the hearing and called for Commission discussion and deliberation.

Commissioner Caruana said he did not mind the first floor deck, but he did not like decks that stop on bay windows. The deck should stop just short of the bay window with a return newel post. This would narrow the deck by about three feet. Or, the deck should extend all the way back to encompass the bay window completely. The first floor deck and railings will add charm and it seems fitting for a house with a view. He referred to a photograph on Page 4 on the Staff report and explained where he preferred the deck to stop. He did not believe there was a way to make a second floor deck look authentic on the house unless it was a mirror image of the first floor. If the Applicant wants a second floor deck, it should be recessed.

Vice President Dieffenbach did not mind the Applicant's drawings. The Queen Anne style is a distinct style; however, there are many variables within the Queen Anne style. She did not mind the deck extending past the bay window, but did not like the deck stopping a third of the way over, as shown in the drawings. There are so many different aspects of the Queen Anne style and she believed Commissioner Caruana's suggestions would look good. She did not mind the second floor deck because it stops short of the roof and hangs out over the bay window. It is important to keep the character of the style, but as history changes, no style is perfect. Every style is a bit of a give and take and she believed the plans worked with the Queen Anne style. The plans are not an exact match to the Queen Anne style, but she believed the plans do encompass the style and facilitate the needs and use of the house.

Commissioner Caruana explained that the deck does not stop short of the bay and the roof of the deck actually goes into the roof of the house. There will be a newel post right on the window because the new railing will have to be 36-inches high, even though the house is historic. He suggested Vice President Dieffenbach consider the visual impact of this railing underneath the windows. He explained in detail how the house would look if the top deck stopped at the beginning of the bay window and the bottom deck extended beyond the bay. The bottom deck would look wider from several perspectives. Vice President Dieffenbach agreed with Commissioner Caruana.

The Commission discussed Commissioner Caruana's ideas about the upper and lower decks.

Commissioner Osterberg did not want to talk to the Applicant about cutting away part of the house. He preferred to discuss modifying elements of the house that the Applicant had already proposed to add.

Commissioner Stanley said he liked Commissioner Caruana's suggestions, but only if the Applicant agreed. He did not believe it was his place to say what needs to be part of the house. He agreed the deck should be extended all the way around to the back of the house. If the Applicant did not agree with Commissioner Caruana's suggestion for the top deck, he would go along with the proposed plans. Commissioner Osterberg agreed with Commissioner Stanley's basic direction.

President Gunderson preferred a cut-out and was not thrilled with the proposed second floor deck. However, she did like the suggestions for the lower deck. She reopened the public hearing and asked the Applicant to come forward.

Commissioner Caruana and Mr. Peters discussed the details of Commissioner Caruana's suggestions. Mr. Peters said this would shorten the walkway and eliminate useable space. He described the topography of the property and stated which areas would be used. He did not want to make the changes Commissioner Caruana had suggested for the second floor deck because of the additional construction that would be necessary. His original drawings showed the deck stopping at the beginning of the bay window, but Mr. Goodenberger said the deck should extend all the way. He preferred a smaller deck on the top and a larger deck on the bottom. He also showed a code-compliant railing in his original drawings, but Mr. Goodenberger said the railing should match the historic value of the house.

Commissioner Osterberg said there might be some exception to the railing height.

Mr. Peters added that the ceiling would be a bead board that would match the existing ceiling.

Commissioner Caruana continued explaining his ideas to Staff.

Vice President Dieffenbach said she did not like certain aspects of Commissioner Caruana's plans.

Commissioner Osterberg noted that Queen Anne houses did not need to be symmetrical and a variety of different details that are not uniform would be appropriate on a Queen Anne house.

Vice President Dieffenbach explained her idea for extending the decks.

Commissioner Caruana confirmed the Commission would be voting to approve a narrower top deck that stopped at the beginning of the bay window. He asked where the Commissioners believed the bottom deck should stop.

Commissioner Stanley believed the deck should stop short of the bay window, but the decision must be the Applicant's.

Mr. Peters said he preferred the bottom deck stop at the first corner of the bay window. He liked the idea of having the newel posts and railing on the inside of the top deck. He and Commissioner Caruana discussed photographs of the house.

Vice President Dieffenbach said the second floor decks on Queen Anne houses were always very small and personal. Wrapping the deck around the house would make the deck too big.

Commissioner Stanley noted that the Applicant just wanted enough room to have a cup of coffee. Mr. Peters said the view from the window was not as good as it would be from the deck.

Commissioner Caruana asked if the multi-pane door would be changed if the deck were approved. Mr. Peters said there was another entrance door off the south side of the house, which he did not believe was original.

Mr. Peters confirmed he did not have the original window and the door was missing glass. It was a nightmare trying to find replacement glass.

Director Cronin suggested the Commission organize their ideas according to architectural features when a motion is made to allow Staff to keep track of the individual features that are approved.

Commissioner Caruana believed the proposed railings and the lower deck were fine.

President Gunderson closed the public hearing.

The Commission and Staff discussed options for amending the Staff report and how to word the motion.

President Gunderson did not believe an upper deck was appropriate on a Queen Anne house.

Commissioner Osterberg said he was in rough concordance with Mr. Goodenberger's recommendations for the second floor deck because Mr. Goodenberger was able to determine that the deck met the criteria.

Commissioner Caruana believed it would be strange to leave the bay window and deck sticking out with the first floor deck wrapping around the house. Vice President Dieffenbach agreed.

The Commission took several minutes discussing the details of some proposed changes with Staff.

President Gunderson confirmed that the Applicant wanted to speak and reopened the public hearing.

Mr. Peters answered Commissioner questions about the house as the Commission described the details of the changes they wanted Mr. Peters to make to his project.

President Gunderson closed the public hearing. She appreciated that everyone was working together and the Commission wants to give the Applicant what he wants. However, there has been a lot of back and forth about the details. Therefore, she proposed the hearing be continued so that Staff could present renderings of what has been proposed. She did not want to make the Applicant return, but believed it was worthwhile for the Commission to have a solid plan with specific details and drawings.

Commissioner Caruana understood issues with the upper deck had been resolved and the materials were fine, but the Commission needed to give the Applicant direction on the lower deck so that he could come back with plans that would be approved.

The Commission discussed details of the house and options for the lower deck. The Commission agreed that two design alternatives met the criteria and the Applicant could choose which design to build. Commissioner Caruana had concerns about one of the design alternatives, but noted it would not be highly visible. Commissioner Osterberg said once a design is chosen, the Applicant will present the design details to the HLC for review and specific issues can be addressed at that time.

President Gunderson stated the motion would need to be very specific so that the Applicant would not have to come back next month with a new set of ideas. She asked Staff to recommend wording for the motion.

Director Cronin said the architectural features could be listed individually with direction to the Applicant about what to bring back to the HLC. The Commission could also provide general direction with one motion so that Staff could work with the Applicant based on the discussions at this hearing. He confirmed that the sketches made during this hearing would be added to an updated Staff report.

Commissioner Caruana moved that the Historic Landmarks Commission (HLC) adopt the Findings and Conclusions contained in the Staff report and approve Exterior Alteration EX15-14 by Daniel Peters with the following additional condition:

- The HLC will approve the architectural details with respect to the posts, balustrades, materials, and lattice work.

Motion seconded by Commissioner Stanley. Motion passed unanimously.

Vice President Dieffenbach moved that the Historic Landmarks Commission (HLC) adopt the Findings and Conclusions contained in the Staff report and approve Exterior Alteration EX15-14 by Daniel Peters with the following additional conditions:

- If the bottom of the lower deck aligns with the bottom of the bay window, the deck must stop at the corner of the first outside corner of the bay window.
- If the bottom of the lower deck does not align with the bottom of the bay window, the deck must extend past the bay window.

Motion seconded by Commissioner Stanley. Motion passed unanimously.

Vice President Dieffenbach moved that the Historic Landmarks Commission (HLC) adopt the Findings and Conclusions contained in the Staff report and approve Exterior Alteration EX15-14 by Daniel Peters with the following additional conditions:

- The second floor deck shall extend out six feet, as proposed.
- The northeast corner of the deck must be eight to ten inches from the corner of the building, set to the west.
- The newel posts on the east side of the deck must align with existing trim on the corner of the porch.

Motion seconded by Commissioner Caruana. Motion passed unanimously.

Vice President Dieffenbach moved that the Historic Landmarks Commission (HLC) continue the hearing of Exterior Alteration EX15-14 by Daniel Peters to the April 19, 2016 meeting and direct Staff to present more accurate drawings, information, and accurate scale drawings that support the Findings and Conclusions. Motion seconded by Commissioner Stanley. Motion passed unanimously.

REPORTS OF OFFICERS/COMMISSIONERS – ITEM 5: - None.

NEW BUSINESS – ITEM 6:

Item 6(a): 2016 Dr. Edward Harvey Historic Preservation Award Nominations

Director Cronin said a press release was sent out about the award. He encouraged the Commissioners to submit their own nominations. All nominations will be discussed at the April meeting.

Item 6(b): Certified Local Government (CLG) Grant Application

Director Cronin stated the application has been submitted. This \$12,000 grant will provide funds for a pass-through façade renovation funds for historic commercial and residential properties particularly on windows, storefronts, and entryways, funds for architectural assistance for historic buildings, and funds to help the City determine approvable materials and products.

Item 6(c): State Historic Preservation Office (SHPO) Tax Incentive Training

Planner Ferber stated she had been nominated for tax incentive training in Washington D.C. in July and the application to attend has been submitted. The tax incentives were applicable to small towns, restoration, development, etc.

Item 6(d): Columbia Pacific Preservation (CPP) Goals

Director Cronin said the CPP has been meeting regularly and recently prioritized goals for the work program. Goals will focus on Uniontown, the Flavel commercial building, and the maker space that the Historic Preservation Program has been wanting to implement.

STATUS REPORTS – ITEM 7(a):

Planner Ferber has included status report photographs of the following: EX14-07 for 813 14th Street and NC15-02 for 1542 Grand. The projects are complete or near completion and conditions have been met. These status report photographs are for Commission information.

The Commission and Staff briefly discussed the projects. Director Cronin encouraged Commissioners to provide feedback on the new construction projects because there were issues with the application and permitting process that he was trying to resolve.

Planner Ferber added that a new house was being built at 275 29th Street in Mill Pond. The property owners are working with their contractor to make changes that would address some of Staff's concerns about the project.

PUBLIC COMMENT – ITEM 8:

ADJOURNMENT:

There being no further business, the meeting was adjourned at 6:55 p.m.

APPROVED:

Community Development Director

STAFF MEMO/FINDINGS OF FACT

April 13, 2016

To: Historic Landmarks Commission

From: Nancy Ferber, City Planner 

Subject: Exterior Alteration Request (EX15-14) by Daniel Peters

At the previous HLC meeting held March 28, 2016 Commission members collaborated with the applicant and drew on the proposed site plans. Those drawings have been included in this report for the public record. Updated final drawings and information from the applicant is included below. The previous staff report is included for your reference.

At the March meeting, the following motions were made to approve features of this proposal:

1. The HLC will approve the architectural details with respect to the posts, balustrades, materials and lattice work previously proposed and reviewed in the staff reports.
2. If the bottom of the lower deck aligns with the bottom of the bay window, the deck must stop at the corner of the first outside corner of the bay window.
3. If the bottom of the lower deck does not align with the bottom of the bay window, the deck must extend past the bay window.
4. The second floor deck shall extend out six feet, as proposed.
5. The northeast corner of the deck must be set in eight to ten inches from the corner of the building, set to the west.
6. The newel posts on the east side of the deck must align with existing trim on the corner of the porch.

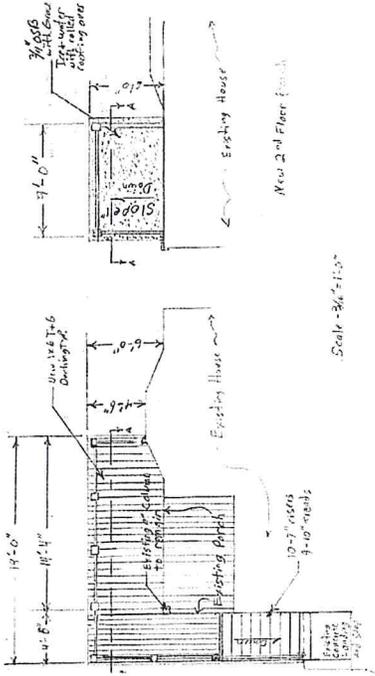


Figure 1: stairs to existing landing, 19' first level porch to stop at corner of bay window, 1x6 tongue and groove decking

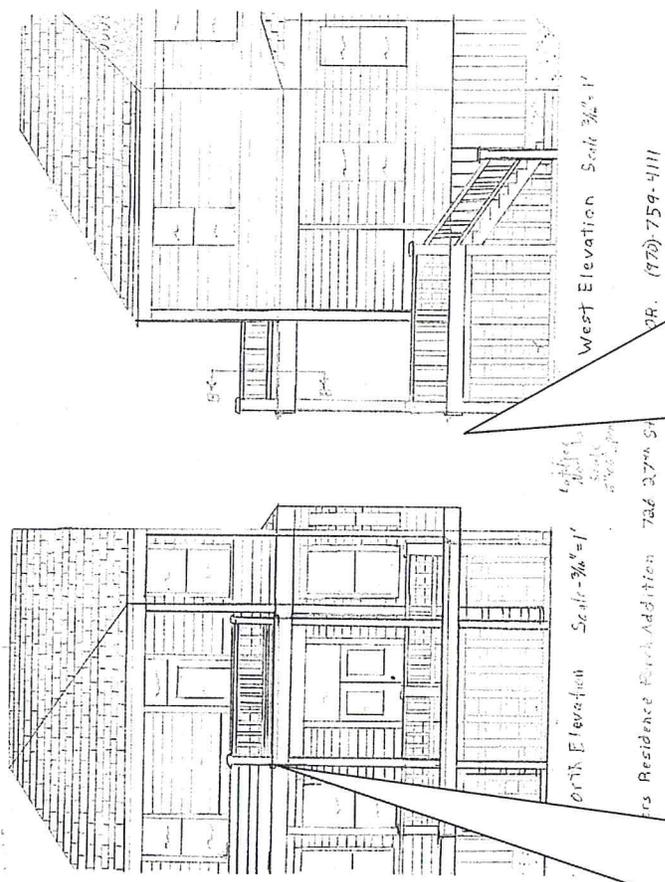
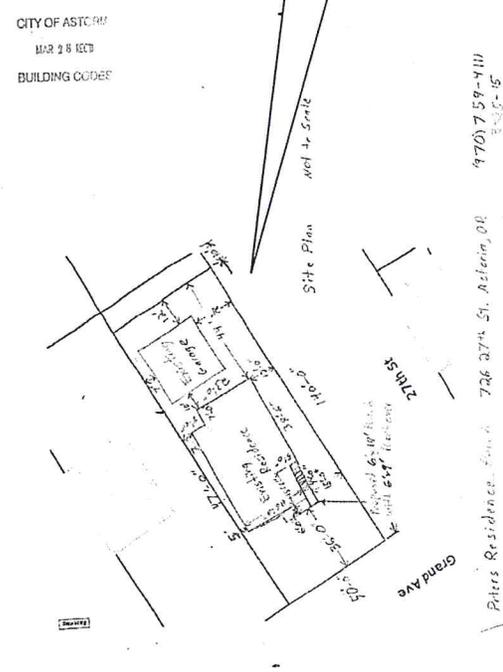


Figure 2a: Second story porch inset

Figure 2b: Lattice work with 6"x6" openings, Balustrades rails to line up on top and lower porches

Figure 3: proposed 6'x19' porch with 6'x9' second story porch above



CONCLUSION AND RECOMMENDATION

Based on staff review, portions of the proposal meets the criteria. A second story protruding porch on a vernacular Queen Anne is unusual, however if the HLC determines the proposed design meets the criteria noted in the previous staff reports, the following conditions apply:

Conditions for approval

1. The balustrade on the stairs shall have an upper and lower railing, and shall end in a newel post. The upper rail shall not extend beyond the newel post.
2. Supporting posts shall be incorporated into the porch, and not exposed on the exterior. A fascia board or other cover shall hide any construction detailing.
3. Significant changes or modifications to the proposed plans as described in this staff report shall be reviewed by the Historic Landmarks Commission.
4. The original application was submitted 12-3-15; a 120 day waiver is on file through May 5, 2016. An additional waiver shall be signed by the applicant to cover the 15 day window for appeal.
5. The deck shall stop at the corner of the first outside corner of the bay window.
6. The second floor deck shall extend out six feet, as proposed.
7. The northeast corner of the deck must be set in eight to ten inches from the corner of the building, set to the west.
8. The newel posts on the east side of the deck must align with existing trim on the corner of the porch.
9. Lattice work shall be painted to match the house

The applicant should be aware of the following requirements:

The applicant shall obtain all necessary City and building permits prior to the start of construction.

By:

Nancy Ferber, Planner

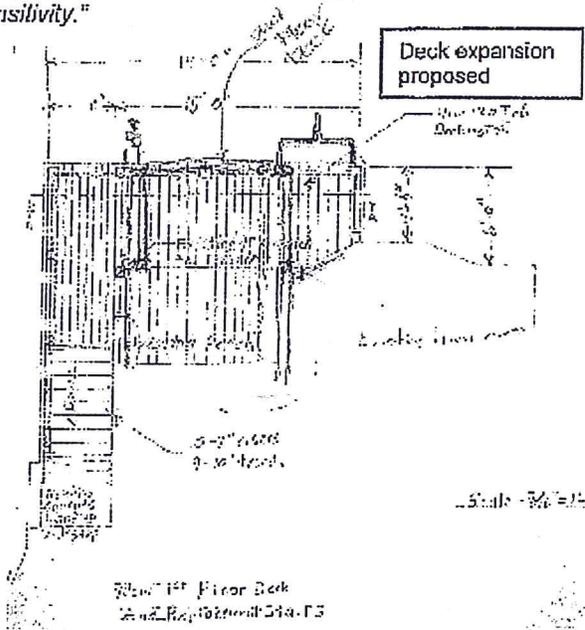
Attached:

Commissioner drawings from 3-28-16 HLC meeting

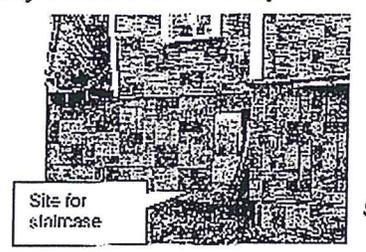
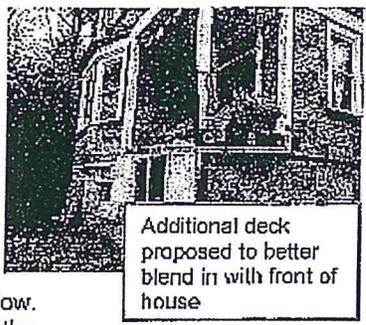
Finding: No alterations are proposed to features that have acquired significance.

- Section 6.050.F.5 states that "distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity."

Finding: The north elevation is very visible, and is the front of the structure. The Queen Anne style typically has front porches located under the roofs, and not projecting from the house. The owner is requesting to extend the porch 6' beyond the front façade. Due to the location on the primary façade, a protruding front porch does not maintain character of the Queen Anne style. A porch within the existing roofline, and wrapping around to the west side...

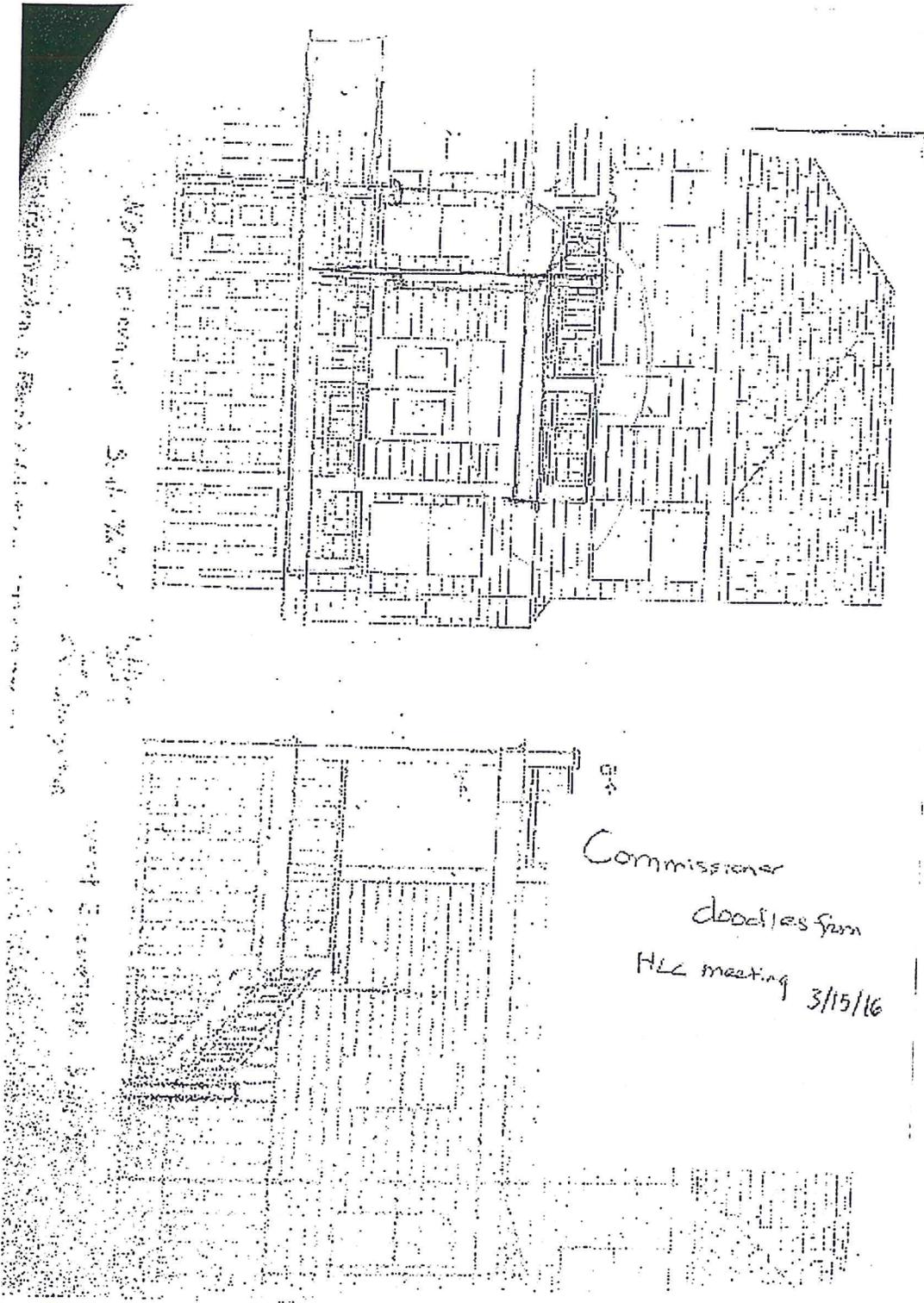


West side porch deck
and railing to be similar to existing porch railing. The railing should be similar to existing railing. The railing should be similar to existing railing.



Commissioner
documents from
HLC meeting 3/15/16

...propose the porch on the north side of the house, for a depth of 6' beyond the bay window. The porch beyond the bay window should be approved only if it extends to the bay window. Additional railing on the first floor on the concrete pad.



I. BACKGROUND SUMMARY

- A. Applicant: Daniel Peters
726 27th Street
Astoria, OR 97103
- B. Owner(s): Peters Daniel L
Peters Jill A
726 27th Street
Astoria, OR 97103
- C. Location: 726 27th Street; Map T8N-R9W Section 9CC, Tax Lot 4600; Lot 6,
Block 34, Shively
- D. Classification: Exterior alteration within the Adair Uppertown Historic Inventory
Area on national registered property
- E. Proposal: Rebuild exterior stairs, change one over one window to multi-lite
door, replace stairs, and add a two story deck to the nw corner
elevation of existing single family dwelling located at 726 27th Street
- F. Zone: R-2 (Medium Density Residential)
- G. Previous Applications: New construction
for garage approved January 2016.

II. BACKGROUND

A. Subject Property

The subject property is located on the Northwest corner on the east side of 27th Street. The lot is 50' x 130' (6,500 square feet) and is of sufficient size in the R-2 Zone to accommodate the alterations.

NOTE: For more information on the historic resource and surrounding properties, please refer to File NC 15-08.

The lot sits above the Grand Avenue level and the proposed decks would be located toward the north end of the lot. The proposed first story deck is 6'x19' with a 6' x15' deck above it on the second story.

The HLC continued this application from January 19, 2016, and asked the applicant to provide more details on the stairs from the first story deck down to an existing concrete landing as well as improve the double porch design. Subsequently, John



Goodenberger met on site with the applicant multiple times to provide historic preservation expertise and provide historically appropriate ideas.

Height: Height of approximately 13' to ridge of roof

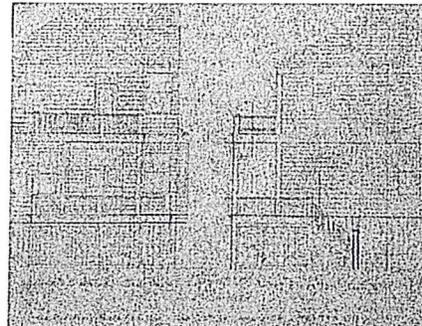
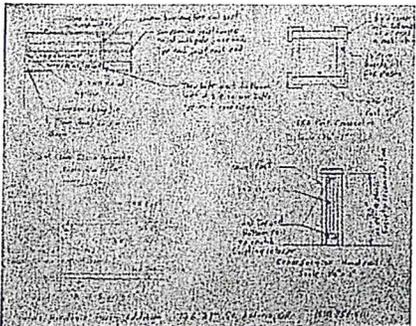
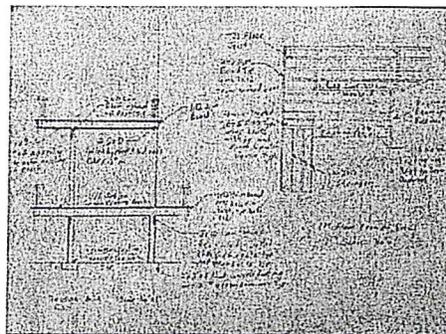
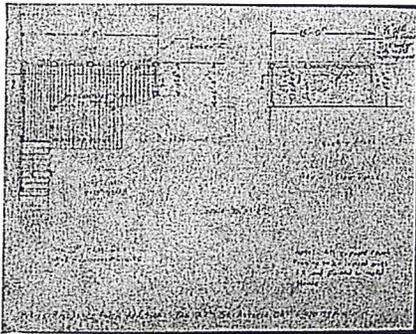
Roof: Fish scale roofing to match gable on house, with felt paper and asphalt composite shingles to match existing house 4:12 pitch roof.

Siding: 1x6 tongue and groove siding with 6" pine trim painted to match the house.

Windows: To change one over one window on north elevation to multi-lite door. (Work was completed prior to any permitting)

Other Features: constructing new front porch and stairs with second story deck on front north elevation

Plans: See attached plans. Preview images are below



III. PUBLIC REVIEW AND COMMENT

A public notice was mailed to all property owners within 100 feet pursuant to Section 9.020 on December 23, 2015. A notice of public hearing was published in the *Daily Astorian* on January 12, 2016. Comments received will be made available at the Historic Landmarks Commission meeting.

V. APPLICABLE REVIEW CRITERIA AND FINDINGS OF FACT

- A. Section 6.050(B) requires that unless otherwise exempted, no person, corporation, or other entity shall change, add to, or modify a structure or site in such a way as to affect its exterior appearance, if such structure is listed or identified as a Historic Landmark or as Primary or Secondary without first obtaining a Certificate of Appropriateness.

Finding: The structure is listed as an Eligible Contributing in the Adair-Uppertown Area and requires review by the HLC. Since the 2013 inventory, the second floor window has been changed to a door, no permits were obtained, the commission shall consider this request as if the work had not been completed.

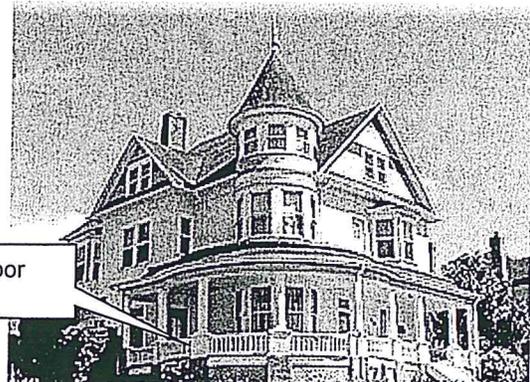
- B. Section 6.050(F), Historic Design Review Criteria, states that *"Type II and Type III Certificate of Appropriateness exterior alteration requests shall be reviewed by the Historic Landmarks Commission or Historic Preservation Officer as indicated in Section 6.050 following receipt of a complete application."*

The following standards, in compliance with the Secretary of the Interior's Standards for Historic Preservation, shall be used to review Type II and Type III exterior alteration requests. The standards summarized below involve the balancing of competing and conflicting interests. The standards are intended to be used as a guide in the Historic Landmark Commission's deliberations and/or the Historic Preservation Officer's decision."

1. Section 6.050.F.1 states that *"every reasonable effort shall be made to provide a compatible use for a property which requires minimal alteration of the building, structure, or site and its environment, or to use a property for its originally intended purpose."*

Finding: The structure was originally built as a single-family dwelling. The applicant will continue to use the property as a single-family dwelling. The applicant is requesting to add a second story deck, and enlarge first story porch to extend beyond the

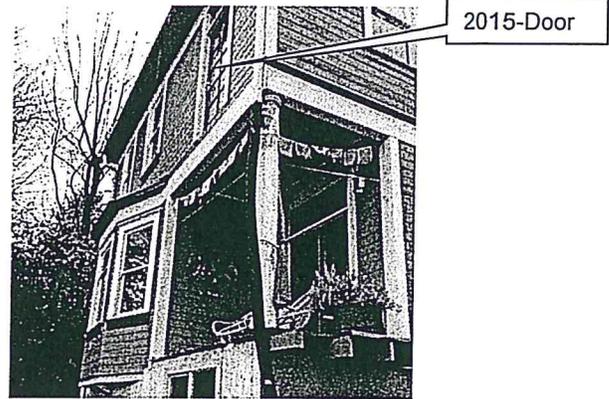
Example first floor porch



plane of the house and wrapping around to west side to put stairs down to existing concrete landing pad on the side. Front porches are a typical use for this style of single-family dwelling and are prevalent in Astoria.

2. Section 6.050.F.2 states that *“the distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.”*

Finding: The applicant has removed a one over one window on the front second floor elevation, and replaced it with a multi-lite door.

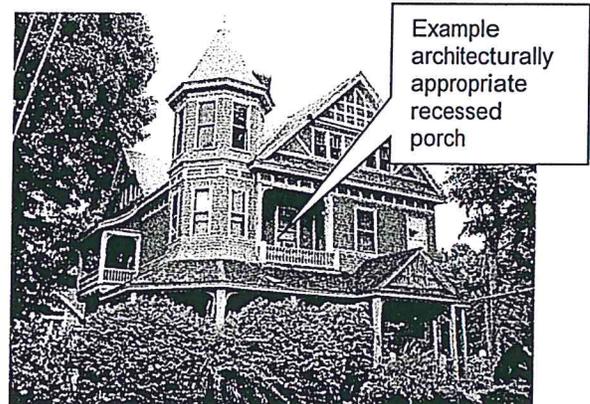


The distinguishing characteristics of a Queen Anne style house included recessed porches, but do not include protruding decks. Therefore, removal of the historic window does not meet this criterion. Since the door has already been installed, the applicant should remove the door, and replace to the original one over one window. (Condition 1b)

Should the second story porch be approved, the existing door would not need to be removed.

3. Section 6.050.F.3 states that *“all buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.”*

Finding: No alterations are proposed to create an earlier appearance.



4. Section 6.050.F.4 states that *“changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired*

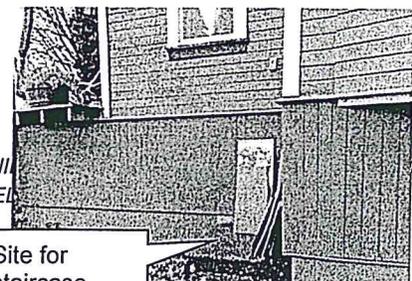
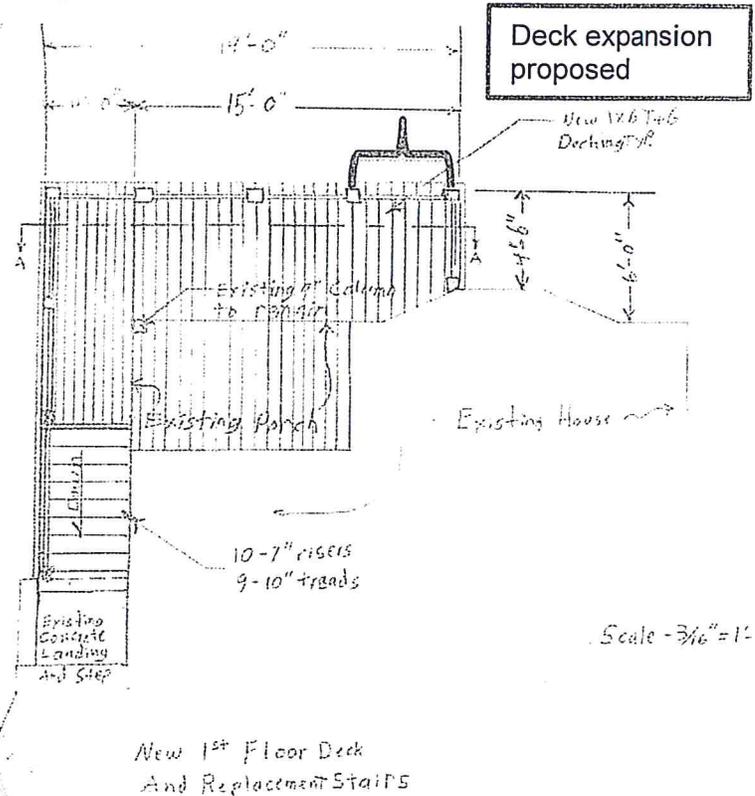
significance in their own right, and this significance shall be recognized and respected.”

Finding: No alterations are proposed to features that have acquired significance.

5. Section 6.050.F.5 states that “distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.”

Finding: The north elevation is very visible, and is the front of the structure. The Queen Anne style typically has front porches located under the roofs, and not projecting from the house. The owner is requesting to extend the porch 6' beyond the front façade. Due to the location on the primary façade, a protruding front porch does not maintain character of the Queen Anne style. A porch within the existing roofline, and wrapping around to the west elevation with stairs to the existing landing, would be similar to the original design and is appropriate.

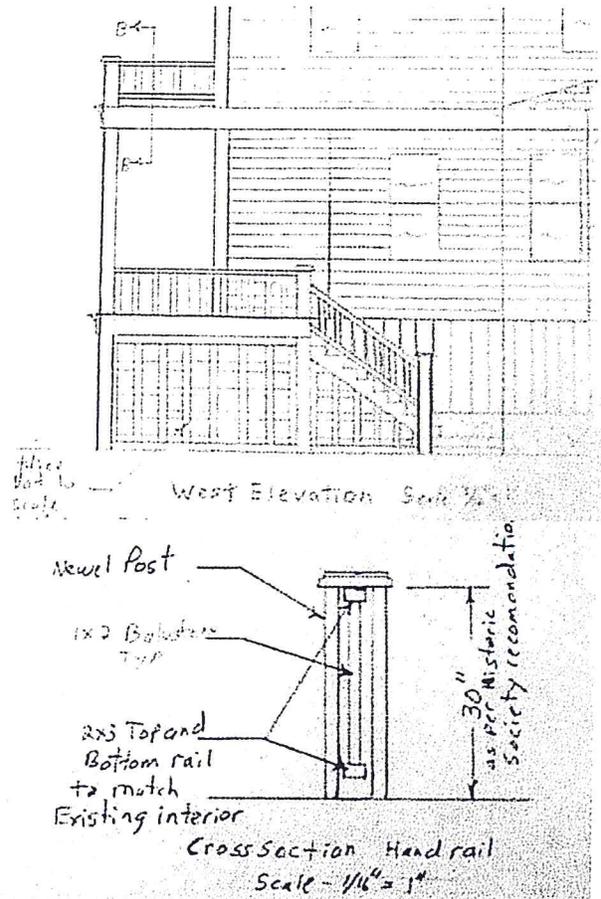
The applicant’s new plans propose the porch wraps further around the north elevation of the house to the east, for a more consistent look rather than truncating the porch before the bay window. The extension of the front porch beyond the plane of the house should be approved only if it extends to the bay window (Condition 1a and 2b).



The applicant has provided additional details for proposed stairs from the first floor down to an existing concrete pad.

The proposed newel post will mimic the design of post in the photo below, which is an existing newel post from the interior of the house. The landing balustrade has upper and lower rails. Supporting posts shall be incorporated into the porch, and not exposed on the exterior, fascia board, or other cover should hide any construction detailing. (Condition 3a and 3b).

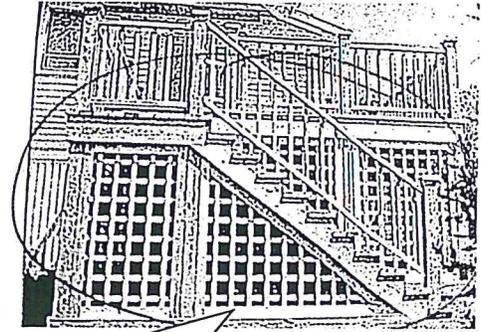
The balustrade on the stairs will also have an upper and lower railing, and should end in a newel post. The upper rail should not extend beyond the newel post. (Condition 2a and 4b). A lattice underneath the stairs will have a 6" by 6" opening, similar to the example in the picture below. This lattice work is proposed to wrap around the front of the house in addition to underneath the staircase. It will be painted to match the house to maintain the stylistic features.



Newel post details: matching post inside the home



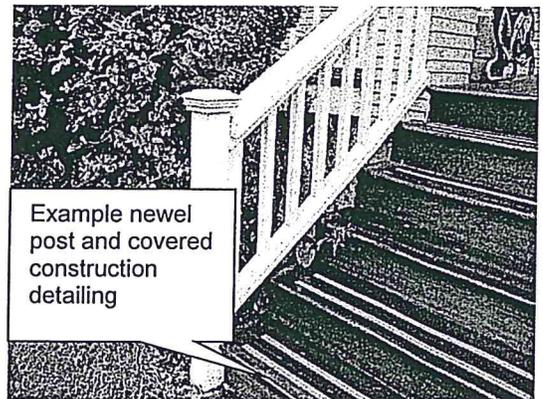
In addition to the first floor porch and stairs, the applicant is proposing a second story deck on the primary front façade. The distinguishing characteristics of a Queen Anne style house included recessed porches, but do not include protruding decks. However, the applicant has proposed changes from the initial design submitted. The new design only protrudes 6' out, the handrails have been lowered and the top deck has been extended to match the bottom. The second story deck would extend to the bay window, and tuck just below the roofing above the window.



Example proposed lattice work

Should the HLC find the design changes insufficient and not in line with distinguishing characteristics of a Queen Anne style house, construction of the second story deck and the change of a window to a door on the second story should be denied. The first floor porch and stairs maintain the character of the Queen Anne vernacular and meets the criteria of treating the site with sensitivity.

6. Section 6.050.F.6 states that *“deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.”*



Example newel post and covered construction detailing

6.050.C.2.b.2, Type I Certificate of Appropriateness - Immediate Approval, states that *“Installation of contemporary composite material on the flat decking area of porches, decks, and/or stair treads.”*

Finding: The porch and stairs have deteriorated beyond repair. The applicant is proposing to reconstruct that portion of the first story porch similar to the original. The balustrade is proposed to be wood; the flat decking proposed is a plastic composite material, which is allowable per section 6.050.C.2.b.2.

7. Section 6.050.F.7 states that *“the surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.”*

Finding: No surface cleaning is proposed.

8. Section 6.050.F.8 states that *“every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.”*

Finding: Archaeological resources, if any, will not be affected.

9. Section 6.050.F.9 states that *“contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and addition do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood or environment.”*

Finding: A protruding front porch and second story deck with door are contemporary designs. While contemporary alterations are not discouraged, the proposed alteration does destroy significant architectural design. Due to the primary façade location, the proposed deck and porch are not in scale with the typical Queen Anne style porches. The first floor porch design and alterations do not destroy significant historical properties of the building.

10. Section 6.050.F.10 states that *“wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.”*

Finding: Some features could be removed and the essential form and integrity of the structure would be unimpaired.

V. CONCLUSION AND RECOMMENDATION

Based on staff review, portions of the request do not meet the criteria. However, if the HLC determines the proposed design meets the criteria noted above, the following conditions apply:

A. Conditions for full approval of the upper and lower porches

- 1a. The extension of the upper and lower porch beyond the plane of the house shall be approved only if it extends to the bay window.

2a. The balustrade on the stairs shall have an upper and lower railing, and shall end in a newel post. The upper rail shall not extend beyond the newel post.

3a. Supporting posts shall be incorporated into the porch, and not exposed on the exterior. A fascia board or other cover shall hide any construction detailing.

B. Conditions for first porch only, and not the upper porch:

If HLC determines that portions of the proposal do not meet the criteria, the following conditions shall apply:

1b. The applicant shall remove the second story door, and replace with a one over one window.

2b. The extension of the front porch beyond the plane of the house shall be approved only if it extends to the bay window.

3b. The balustrade on the stairs shall have an upper and lower railing, and shall end in a newel post. The upper rail shall not extend beyond the newel post.

4b. Supporting posts shall be incorporated into the porch, and not exposed on the exterior. A fascia board or other cover shall hide any construction detailing.

5b. Significant changes or modifications to the proposed plans as described in this staff report shall be reviewed by the Historic Landmarks Commission.

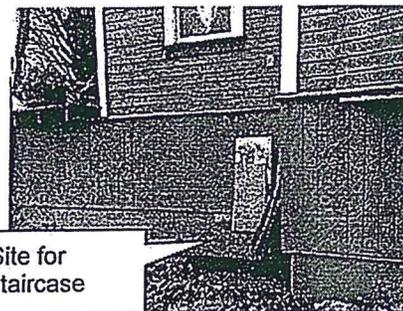
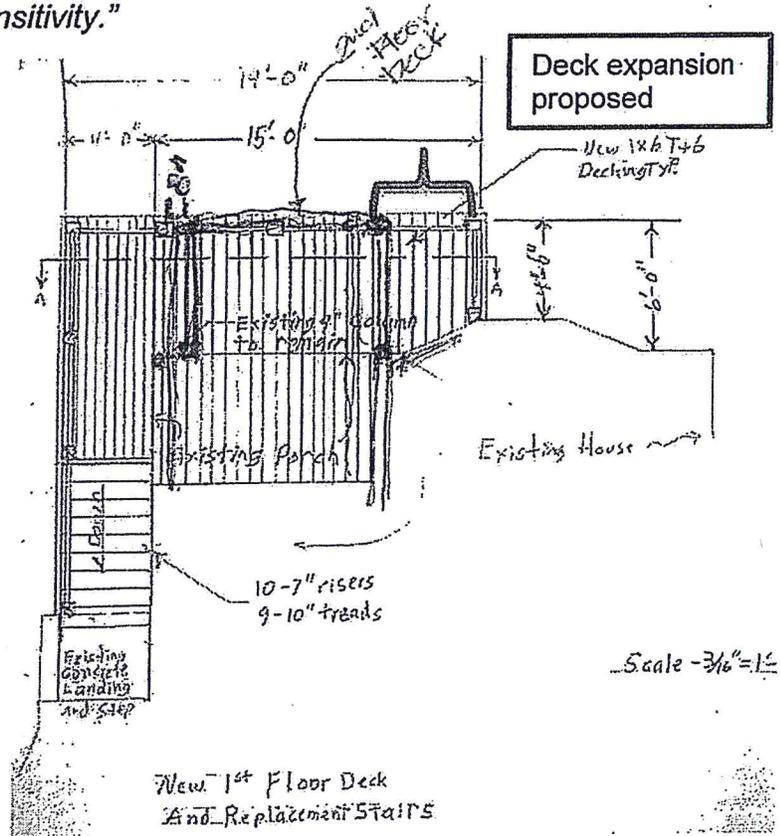
The applicant should be aware of the following requirements:

The applicant shall obtain all necessary City and building permits prior to the start of construction.

Finding: No alterations are proposed to features that have acquired significance.

- Section 6.050.F.5 states that "distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity."

Finding: The north elevation is very visible, and is the front of the structure. The Queen Anne style typically has front porches located under the roofs, and not projecting from the house. The owner is requesting to extend the porch 6' beyond the front façade. Due to the location on the primary façade, a protruding front porch does not maintain character of the Queen Anne style. A porch within the existing roofline, and wrapping around to the west elevation is more appropriate to the Queen Anne style. The proposed porch should be similar to the existing porch and be appropriate to the Queen Anne style. The owner proposes the porch on the north and the north side of the house to the east, for a porch other than the bay window. The porch beyond the bay window should be approved only if it extends to the bay window.

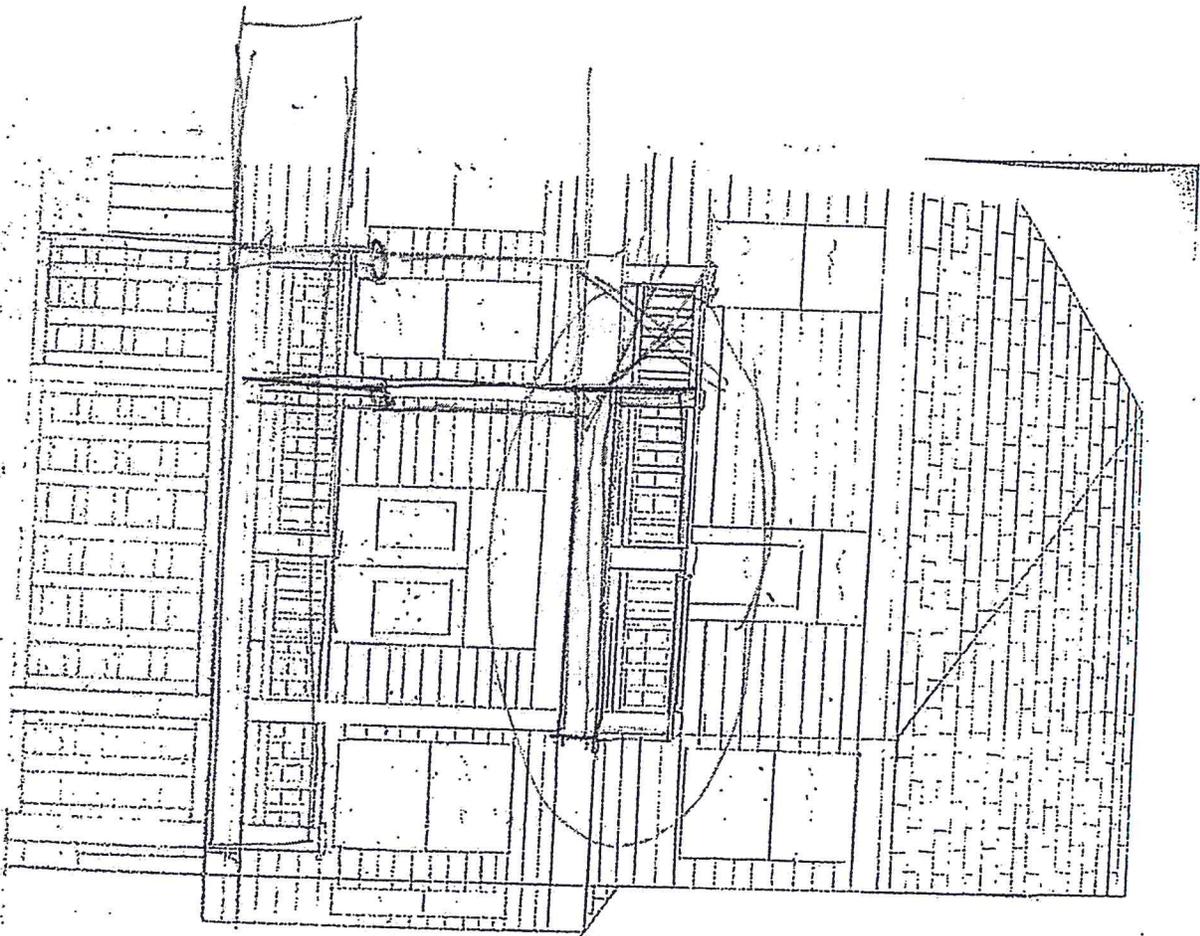


Commissioner
 doodles from
 HLC meeting 3/15/16

additional
 on the first
 being concrete pad.

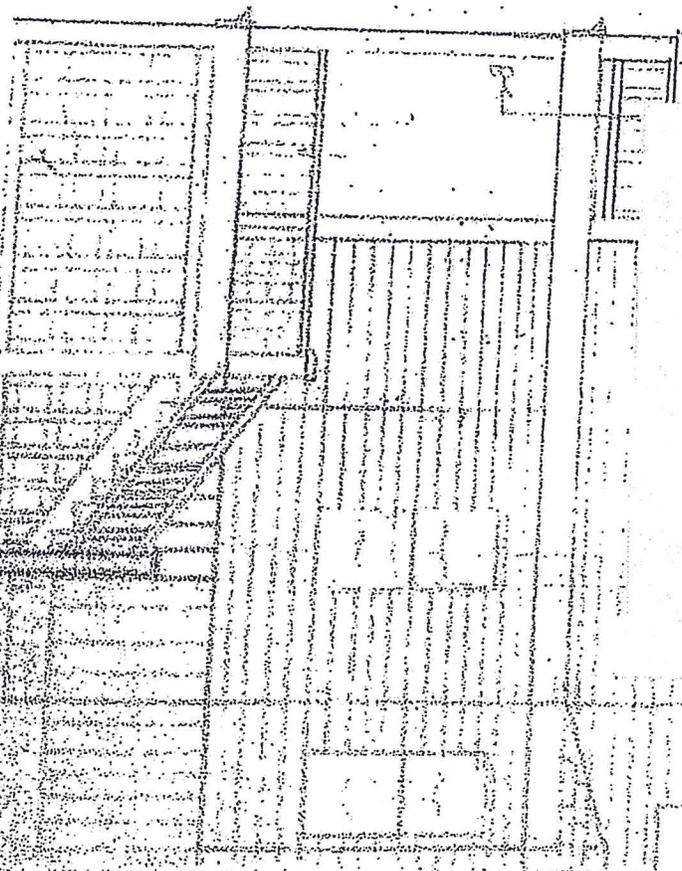
NORTH Elevation

Scale - 3/8" = 1'



Section
No. 1

WEST Elevation



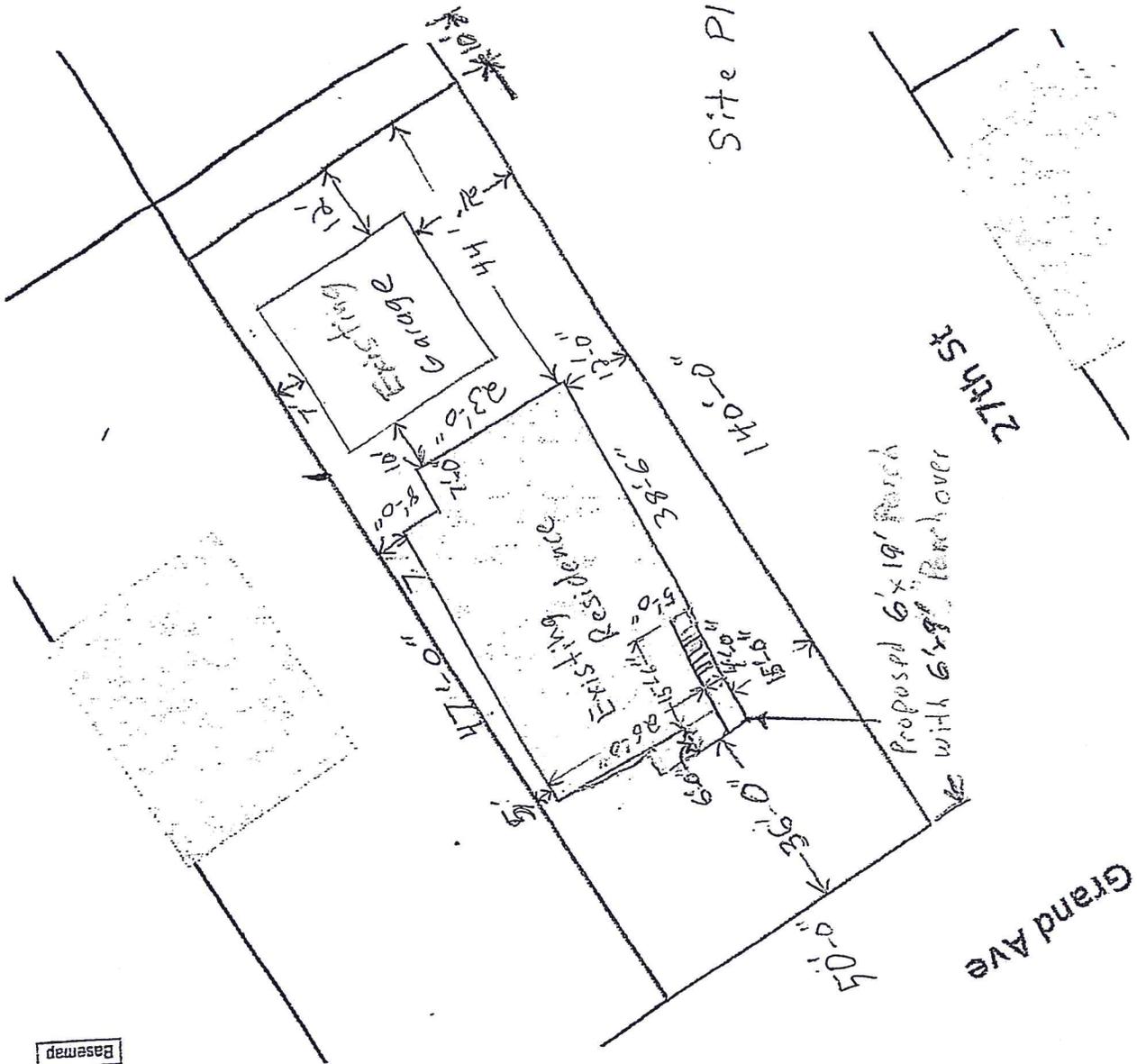
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 HLC meeting 3/15/16

CITY OF ASTORIA

MAR 28 REC'D

BUILDING CODES



Site Plan

Not to Scale

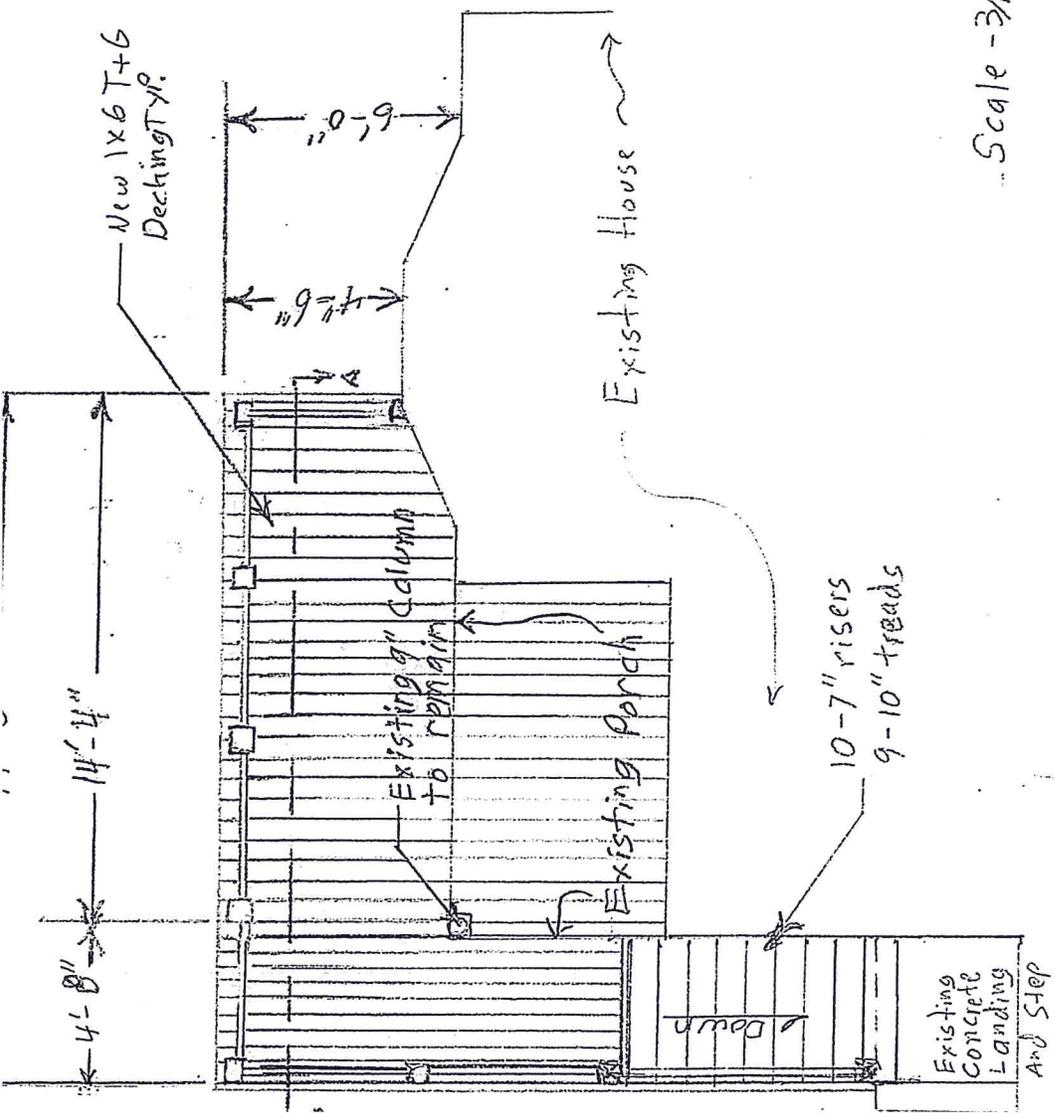
(970) 759-4111
205-15

Peters Residence Parcel 726 27th St. Astoria, OR

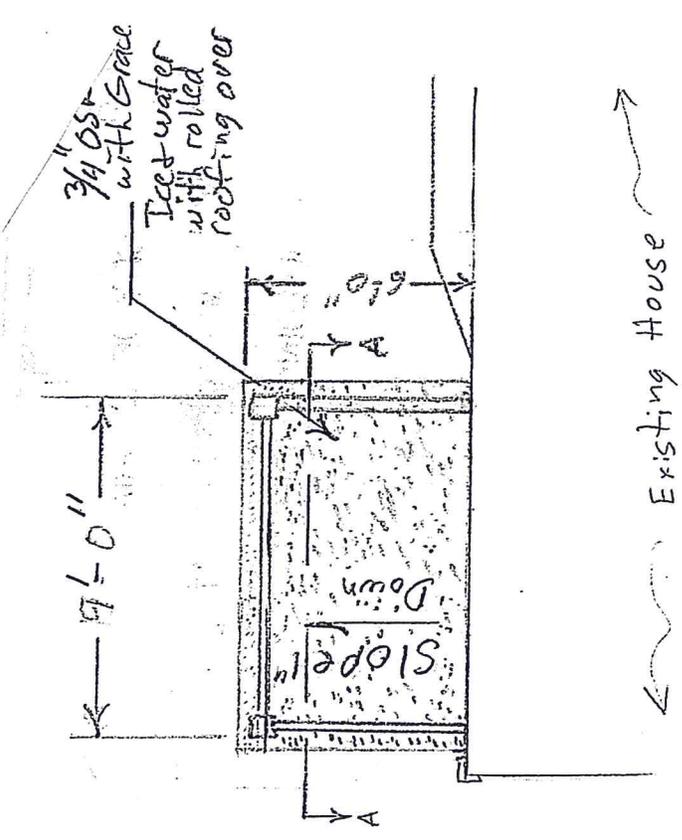
Grand Ave

27th St

Basemap



New 1st Floor Porch
And Replacement Stairs

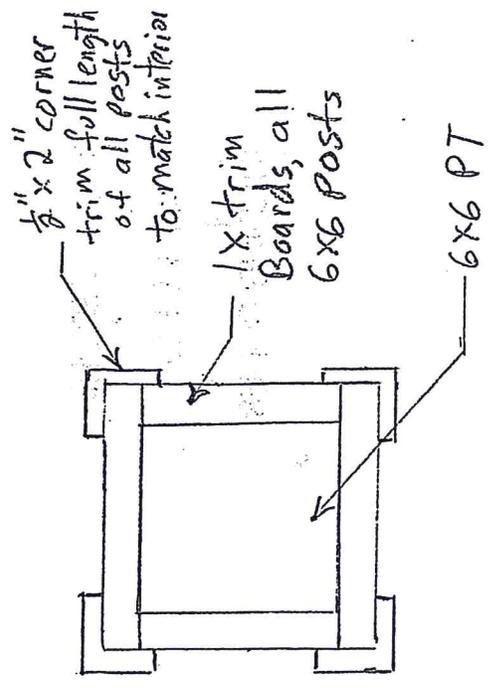


New 2nd Floor Porch

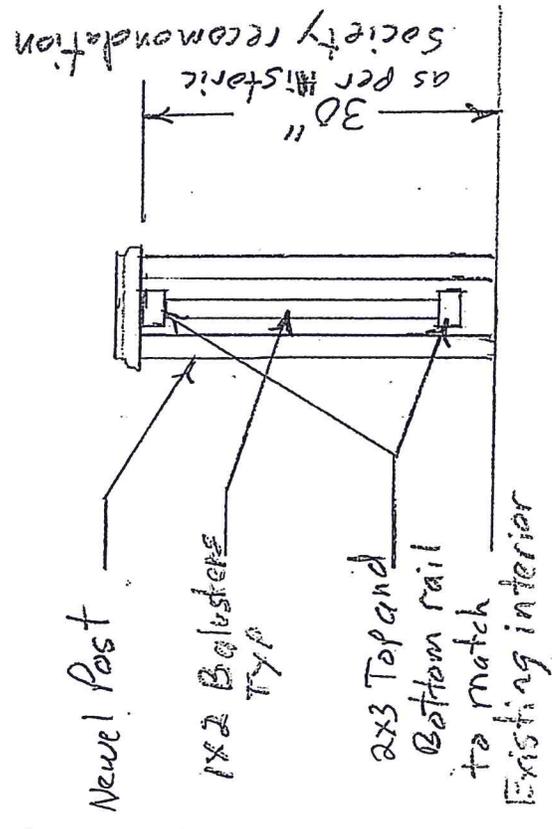
Scale - 3/16" = 1'-0"

Note: All exposed rough framing to be covered with 1x and painted to match House

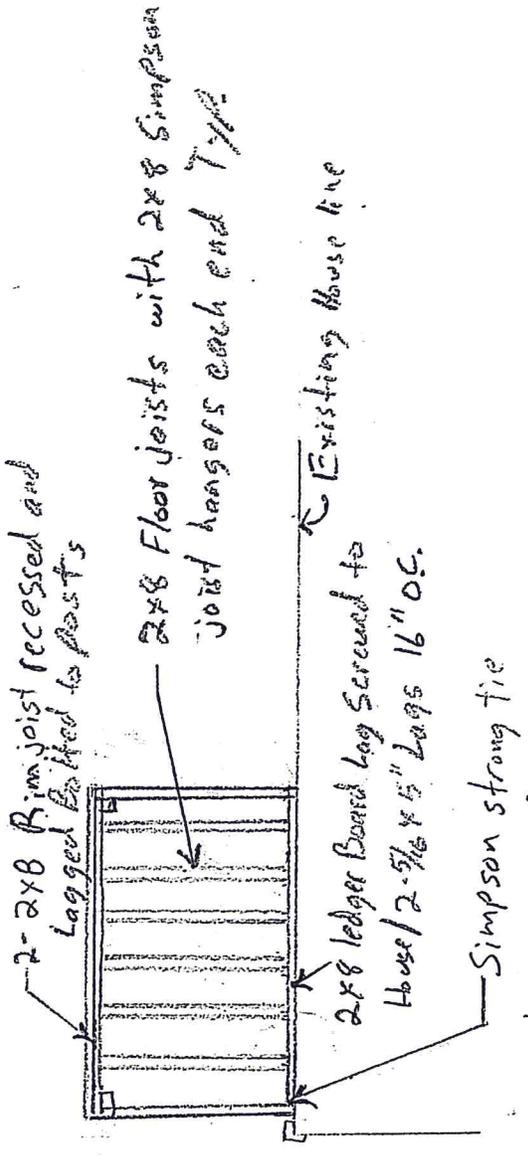
Peters Residence Porch Addition 726 27th St. Astoria, OR (970) 759-4111



6x6 Post Cross-section
 Scale - 3/16" = 1"
 6x6 Post Typ.

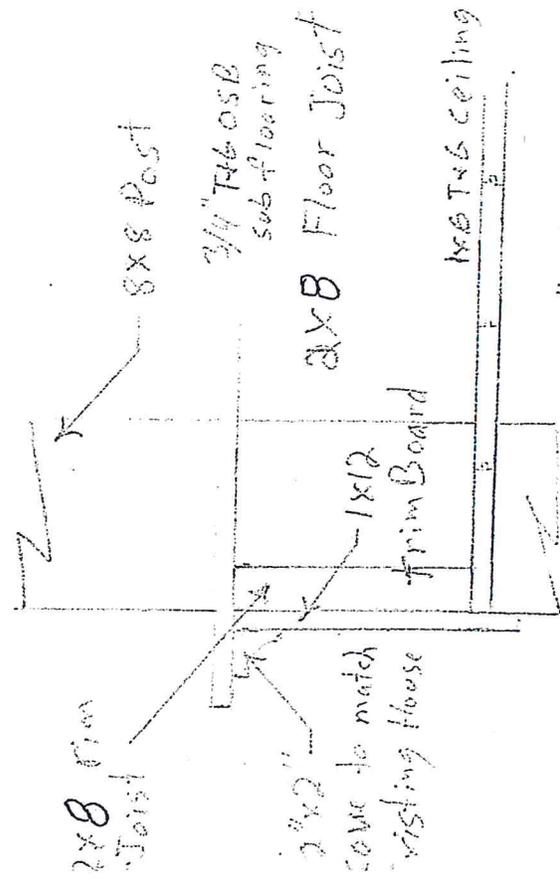


Cross-section Handrail
 Scale - 1/16" = 1"



2x8 Floor Joists with 2x8 Simpson
 Joist hangers each end Typ

2nd Floor Porch Framing
 Scale - 3/16" = 1-0"

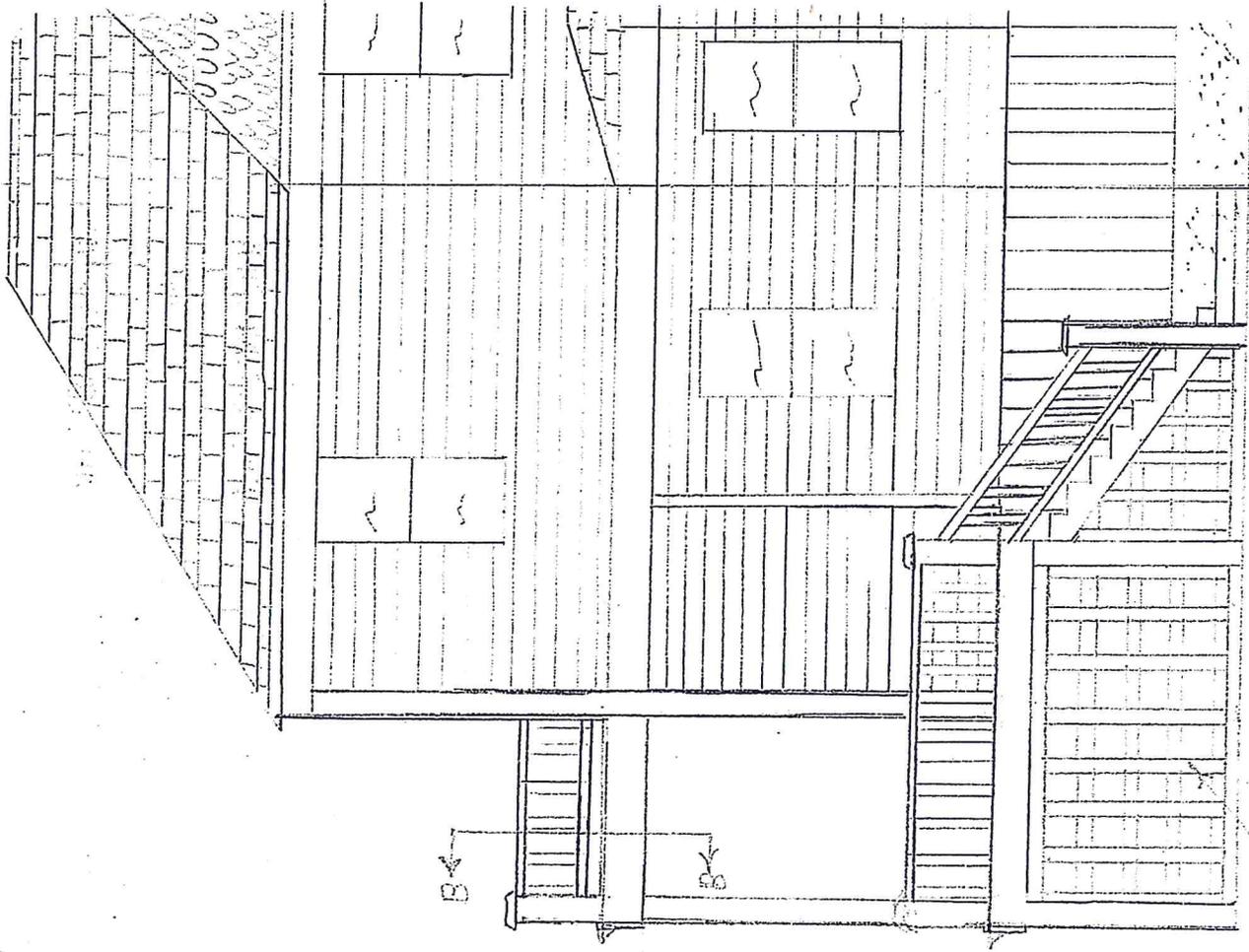


Section B-B Scale - 1/8" = 1"



North Elevation Scale $\frac{3}{16}'' = 1'$

Lat. Type
 No. 1 to
 Scale
 6" x 6" openings Typ.



West Elevation Scale $\frac{3}{16}'' = 1'$

Peters Residence Porch Addition 726. 27th St. Astoria, OR. (970)-759-4111



CITY OF ASTORIA
 Founded 1811 • Incorporated 1856
 COMMUNITY DEVELOPMENT

rev'd 11-24-15

EX 15-14

FEE: \$100.00
Waived per KC 12-2-15

EXTERIOR ALTERATION FOR HISTORIC PROPERTY

Property Address: 726-27th St
 Lot North 140' of lot 6 Block 34 Subdivision Adair Schively
 Map 9CC Tax Lot 4600 Zone R-2 slide zone

For office use only:
 Classification: leg - contrib Inventory Area: Adair Uppertown Seward Area

Applicant Name: Daniel Peters
 Mailing Address: 726 27th St. Astoria, OR. 97103
 Phone: 970759-4111 Business Phone: _____ Email: wingnot139@hotmail.com
 Property Owner's Name: Daniel Peters
 Mailing Address: same as above
 Business Name (if applicable): _____
 Signature of Applicant: Daniel Peters
 Signature of Property Owner: Daniel Peters

Existing Construction and Proposed Alterations: See NC-15-08
Rebuild exterior stairs and add 2-story deck to NW elevation
of existing single family dwelling. corner and change
level window to multi-light
door on North elevation (2nd floor)
on

For office use only:			
Application Complete:	<u>WDA, 2-3-15</u>	Permit Info Into D-Base:	<u>12-3-15</u>
Labels Prepared:	<u>12-3-15</u>	Tentative HLC Meeting Date:	<u>1-19-16</u>
120 Days:	<u>check 4-1-16</u>		

FILING INFORMATION: Historic Landmarks Commission meets at 5:15 pm on the third Tuesday of each month. Complete applications must be received by the 13th of the month to be on the next month's agenda. A pre-application meeting with the Planner is required prior to the acceptance of the application as complete. **Only complete applications will be scheduled on the agenda.** Your attendance at the Historic Landmarks Commission meeting is recommended.

Briefly address each of the Exterior Alteration Criteria and state why this request should be approved. (Use additional sheets if necessary.):

1. Every reasonable effort shall be made to provide a compatible use for a property which requires minimal alteration of the building, structure, or site and its environment, or to use a property for its originally intended purpose.

2. The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.

3. All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.

4. Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.

5. Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.

6. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.

7. The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.

8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.

9. Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and addition do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood or environment.

10. Wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

PLANS: A site plan indicating location of structure on the property and the location of the proposed alterations is required. Diagrams showing the proposed alterations indicating style and type of materials proposed to be used. Scaled free-hand drawings are acceptable. The City may be able to provide some historic technical assistance on your proposal.

Basemap

Grand Ave

50'-0"

34'-0"

Existing Residence

47'-0"

Proposed 8' x 19' Deck with 8' x 11' Deck over

38'-6"

23'-0"

Proposed 22' x 22' Garage

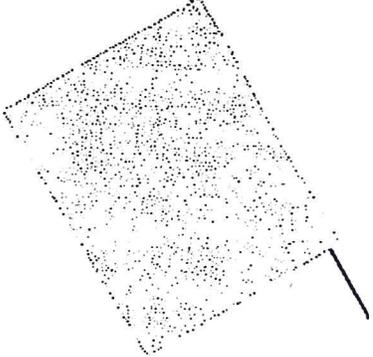
27th St

140'-0"

7.5' Shovel Alley
7.5'

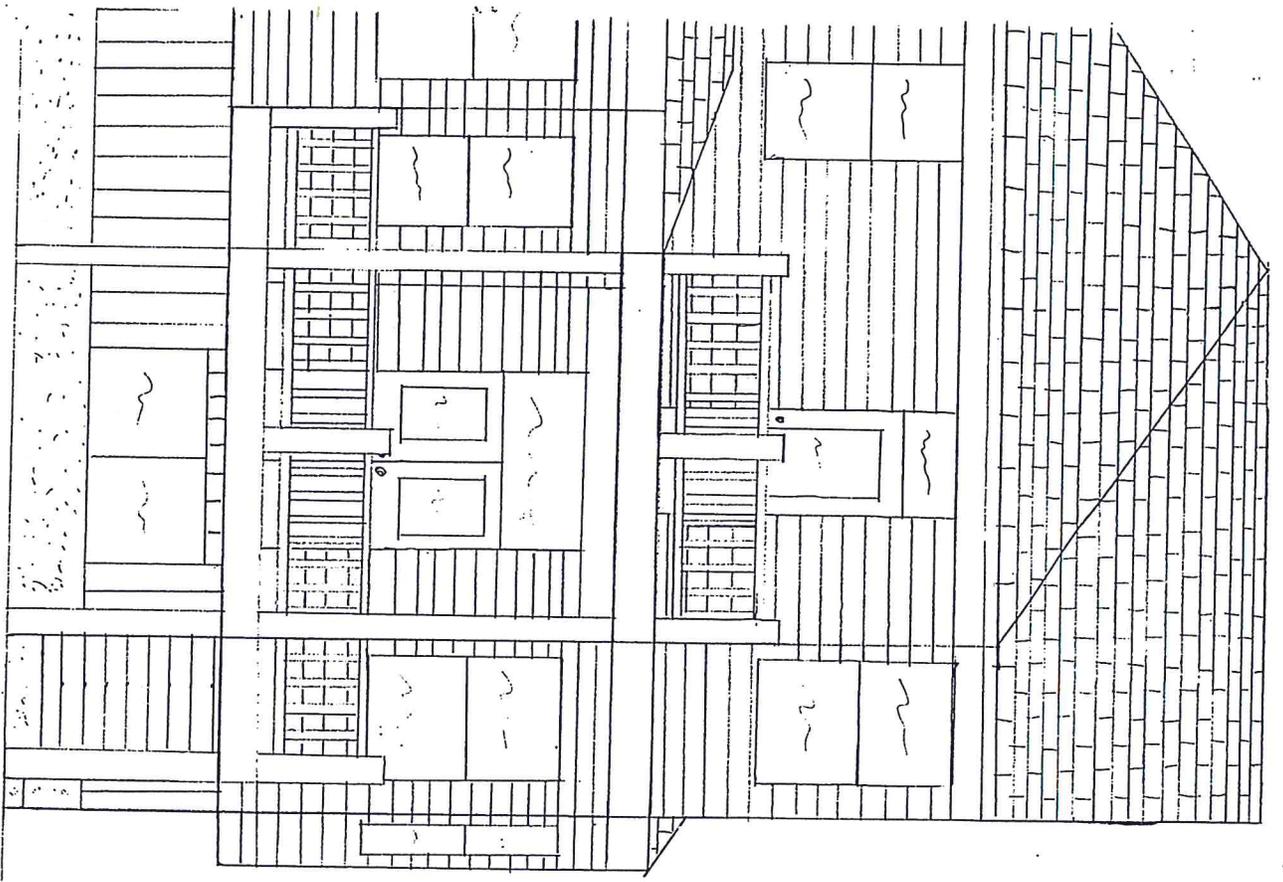
Site Plan

Not to Scale



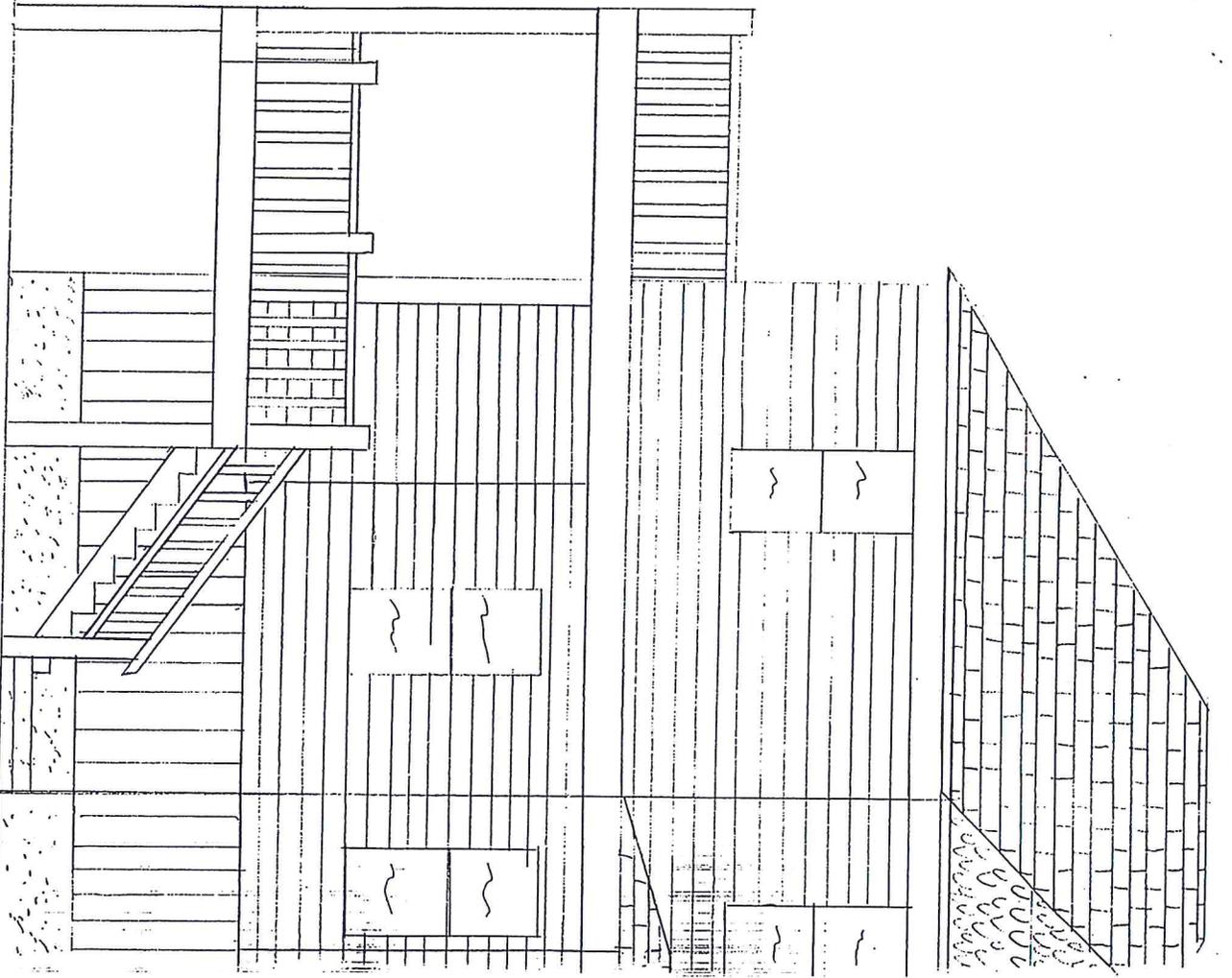
Peters Residence Garage 726 27th St. Astoria, OR
And Park

(970) 759-4111



North Elevation

Scale - $\frac{3}{16}'' = 1'$

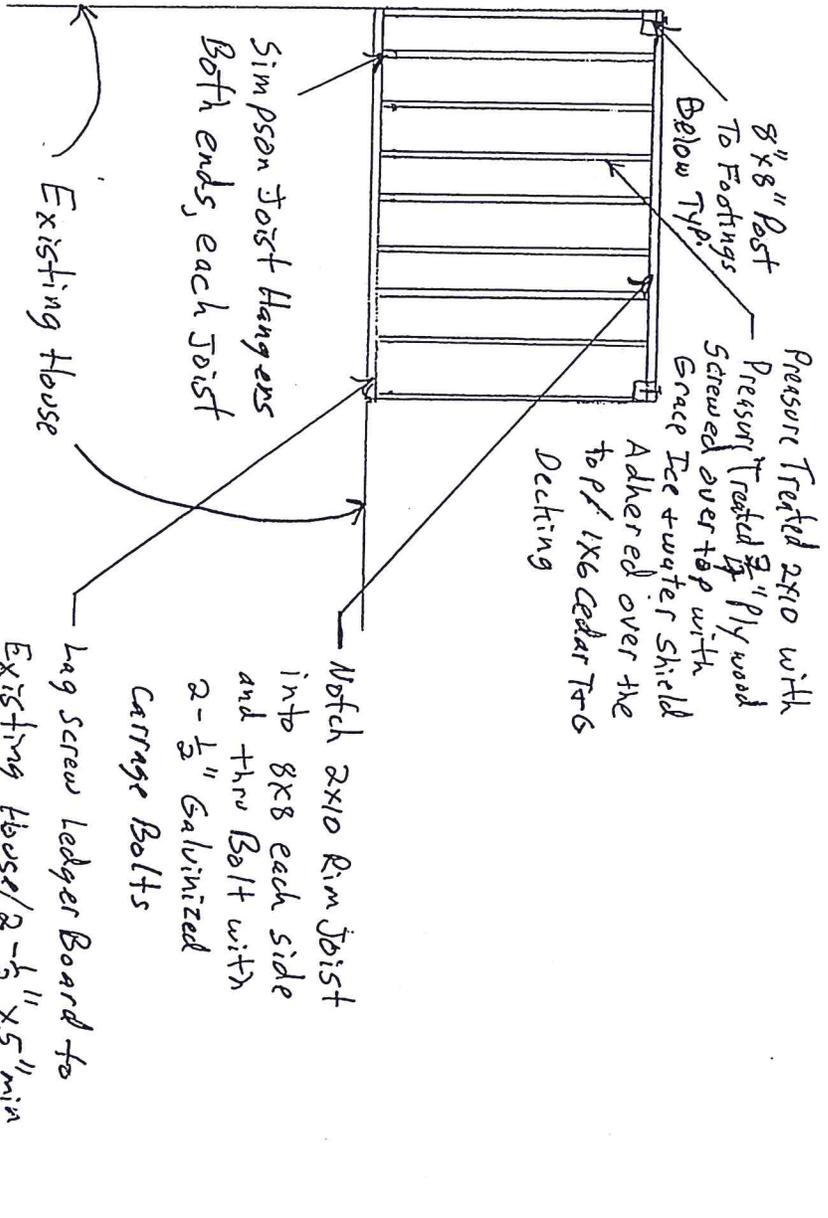


West Elevation

Scale $\frac{3}{16}'' = 1'$

Peters Residence Deck Addition 726 27th St Astoria OR 97103-7504

sloped down $\frac{1}{8}$ " / foot min.



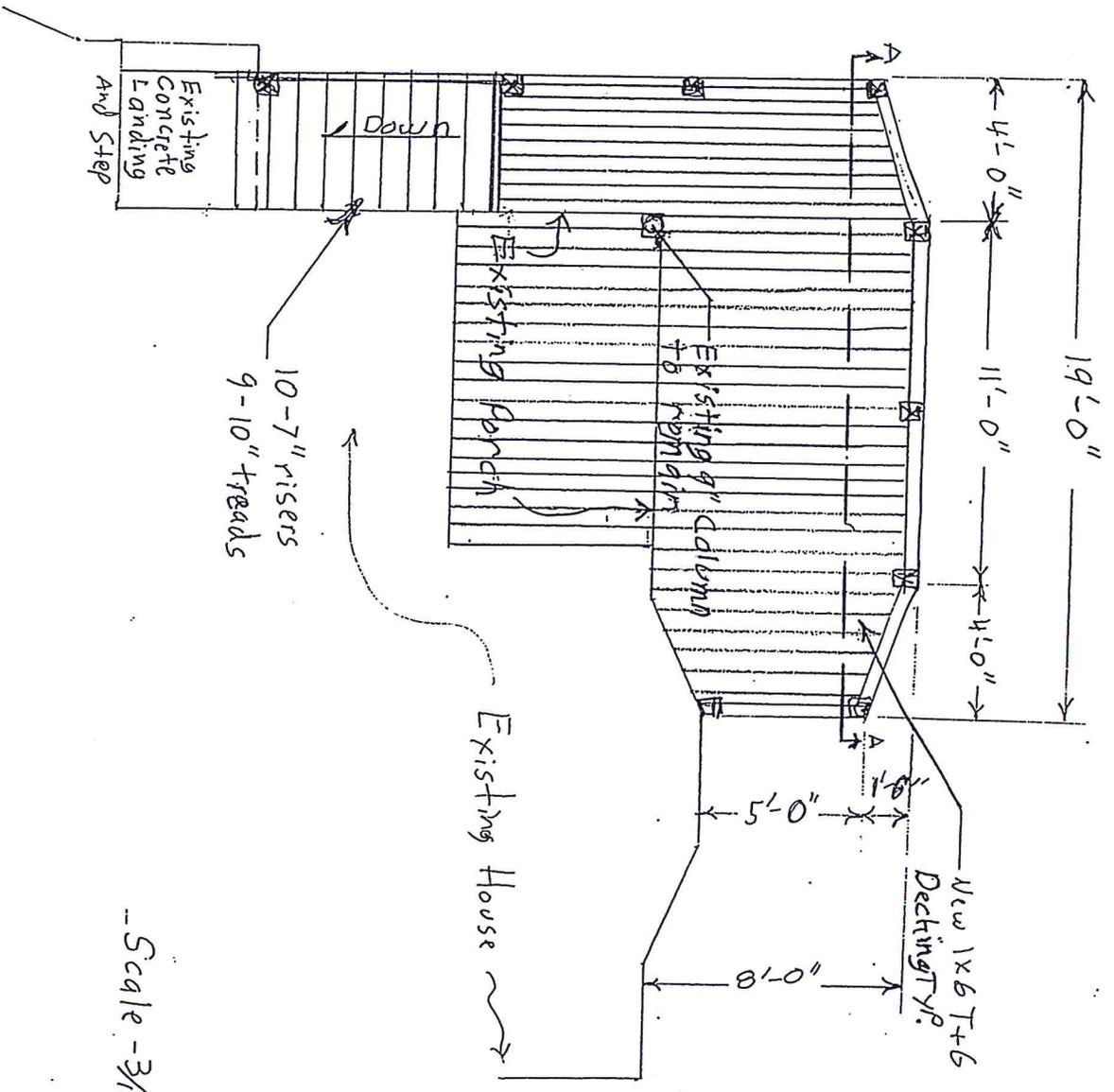
2nd Floor Deck Framing Detail

Scale 3/16" = 1'

Details D-1

Peters Racine Co. N. 1. 11.1.1.

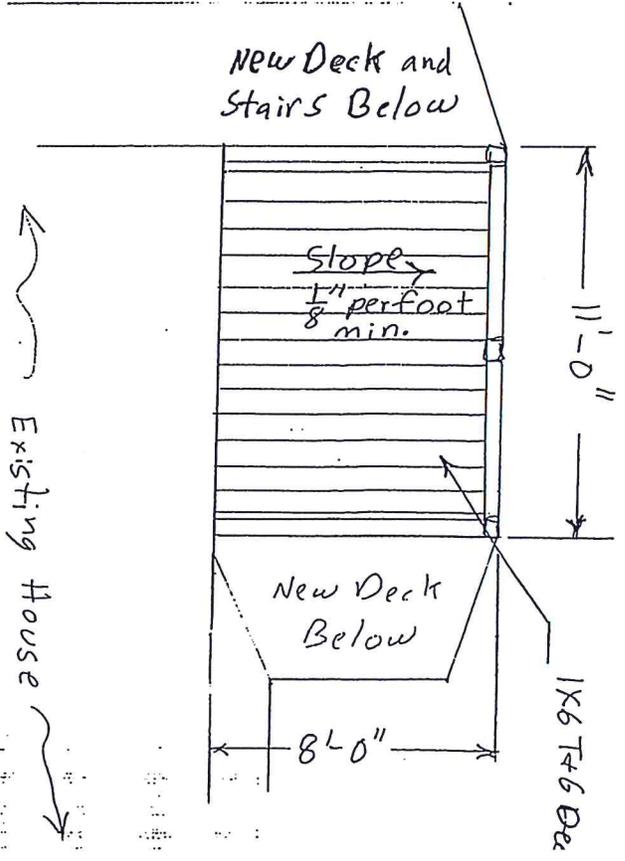
New 1st Floor Deck
And Replacement STAIRS



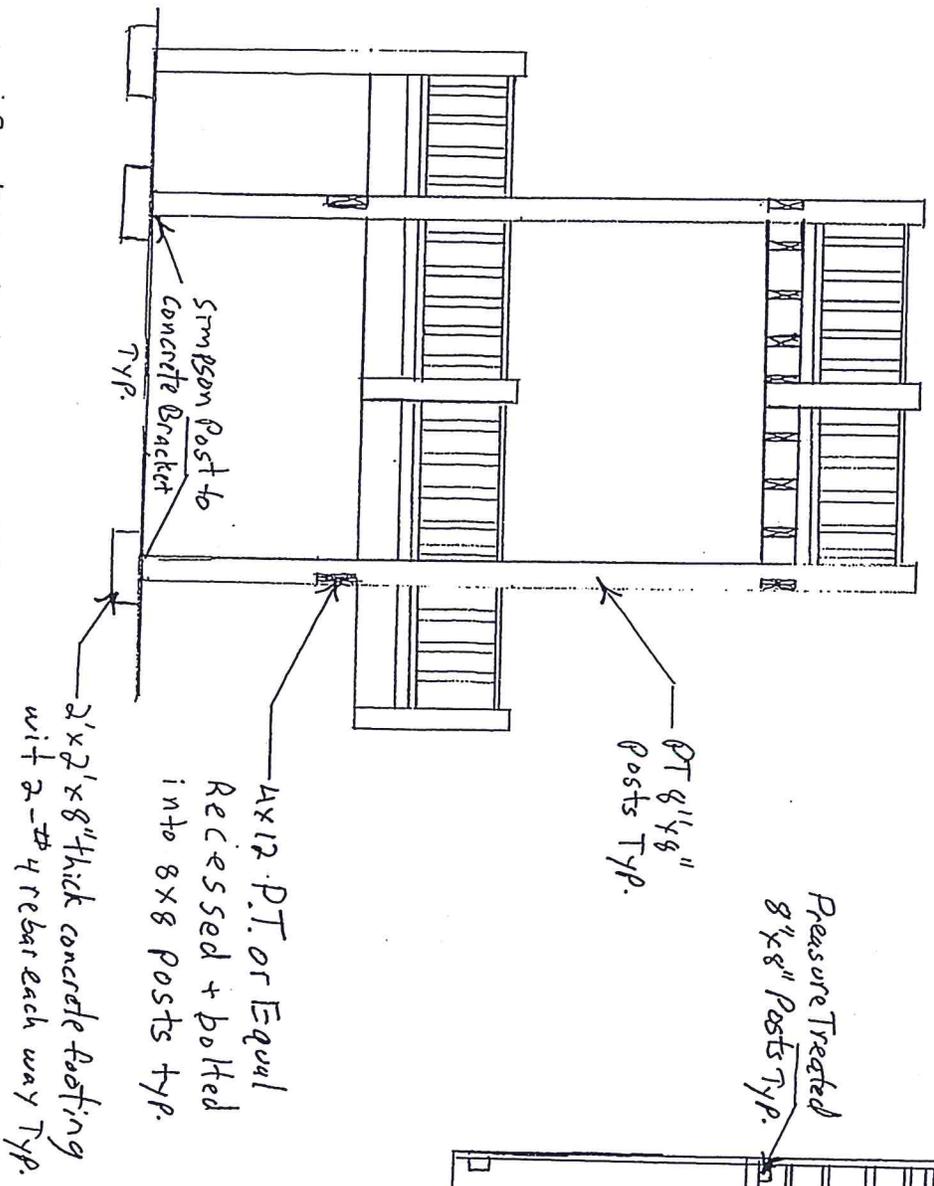
Scale - 3/16" = 1'-0"

New Deck and Stairs Below

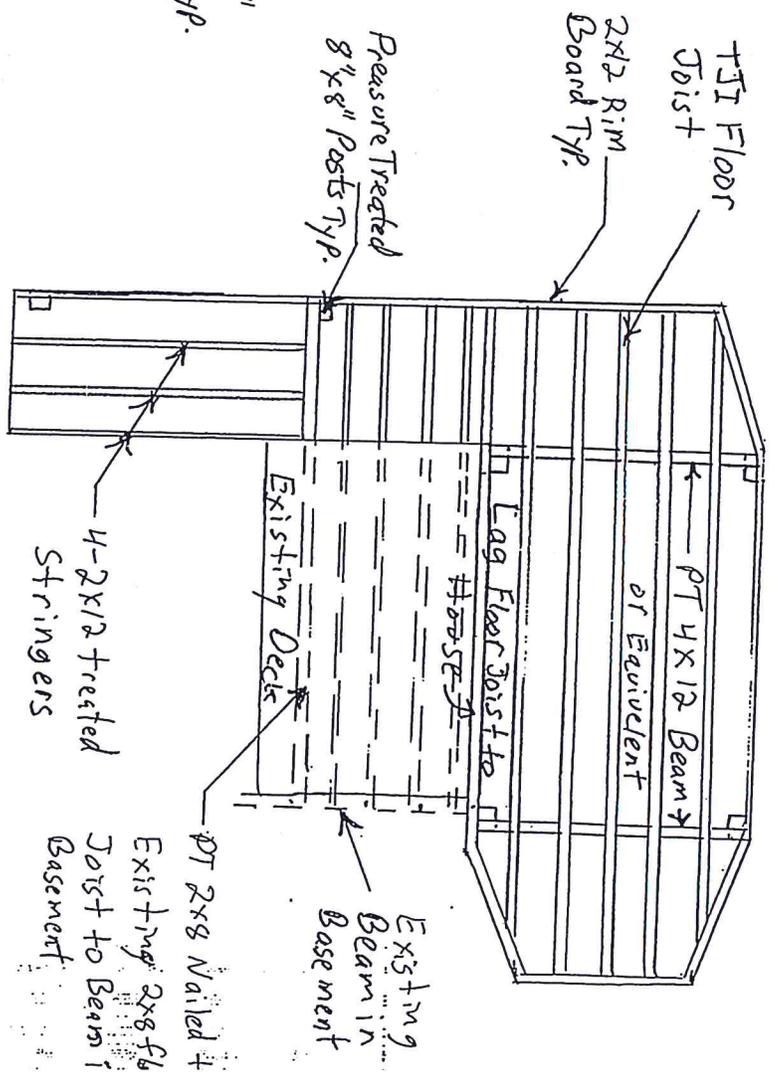
New 2nd Floor Deck



Section A-A Scale 3/16" = 1'



1st Floor Framing Detail Scale - 3/16" = 1'



STAFF REPORT AND FINDINGS OF FACT

April 12, 2016

TO: HISTORIC LANDMARKS COMMISSION

FROM: NANCY FERBER, PLANNER 

SUBJECT: REQUEST FOR EXTERIOR ALTERATION (EX16-02) BY MICHELLE DIEFFENBACH ON BEHALF OF TRISH BRIGHT AT 1215 DUANE STREET

I. BACKGROUND SUMMARY

- A. Applicant: Michelle Dieffenbach
Rickenbach Construction
on behalf of Trish Bright
37734 Eagle Lane
Astoria, OR, 97103
- B. Owner: Walter and Trish Bright
Blue Mars LLC
13868 NE 65th Place
Kirkland WA 98034
- C. Location: 1215 Duane Street; Map T8N-R9W Section 8CD, Tax Lot 1700;
Lot 1, Block 66, McClure
- D. Classification: Secondary historic structure in McClure's Addition, Downtown
Astoria, C-4
- E. Proposal: To install an exterior black iron gate at the main entrance on
Duane Street to restrict access when the building is unoccupied.
- F. Previous Applications: Administrative requests for foundation repair and venting were
approved. A conditional use permit to locate a meeting and
lodging space was approved in 2009. A conditional use permit to
locate a museum on the first floor was recently submitted to the
Planning Commission, April 2016.

II. BACKGROUND

The subject property is a classic American Renaissance building, and is significant for its association to John E Wicks of Astoria. The structure is three full stories with one partial elevation exposed, and below grade public parking to the south. Originally built in 1923, the Banker's Suite has multi-paned fixed windows in wood frames, extensive masonry work, and a white glazed brick exterior. It has a significant presence on

Duane Street and is part of a corridor on 12th Street that has many significant commercial architectural structures.

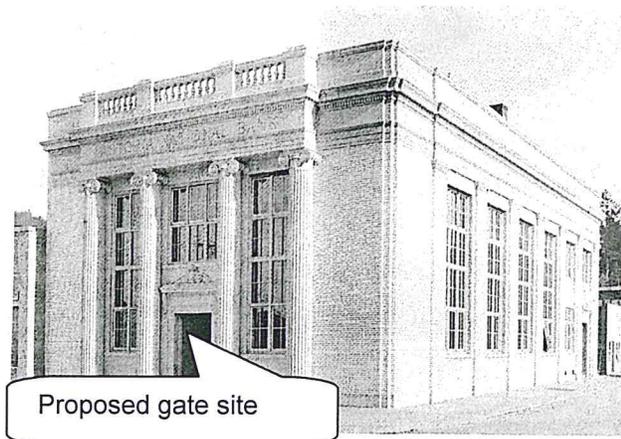


There have been slight alterations to the building over the years, including replacing the original door with glass doors with aluminum frames on the north entrance near the proposed gate

The applicant is proposing adding a black iron gate at the main entrance on the north (Duane Street) elevation, in order to restrict access when the building is unoccupied.

III. PUBLIC REVIEW AND COMMENT

A public notice was mailed to all property owners within 100 feet pursuant to Section 9.020 on March 25, 2016. A notice of public hearing was published in the *Daily Astorian* on April 12, 2016. Any comments received will be made available at the Historic Landmarks Commission meeting.



IV. APPLICABLE REVIEW CRITERIA AND FINDINGS OF FACT

A. Section 6.050(B) requires that unless otherwise exempted, no person, corporation, or other entity shall change, add to, or modify a structure or site in such a way as to affect its exterior appearance, if such structure is listed or identified as a Historic Landmark or as Primary or Secondary without first obtaining a Certificate of Appropriateness.

Finding: Secondary historic structure in McClure's Addition, Downtown Astoria

- B. Section 6.050(C) states that the Historic Preservation Officer shall approve an exterior alteration request if:
1. There is no change in historic character, appearance or material composition from the existing structure or feature; or
 2. If the proposed alteration duplicates the affected building features as determined from a photograph taken during either the Primary or Secondary development periods, or other evidence of original building features; or

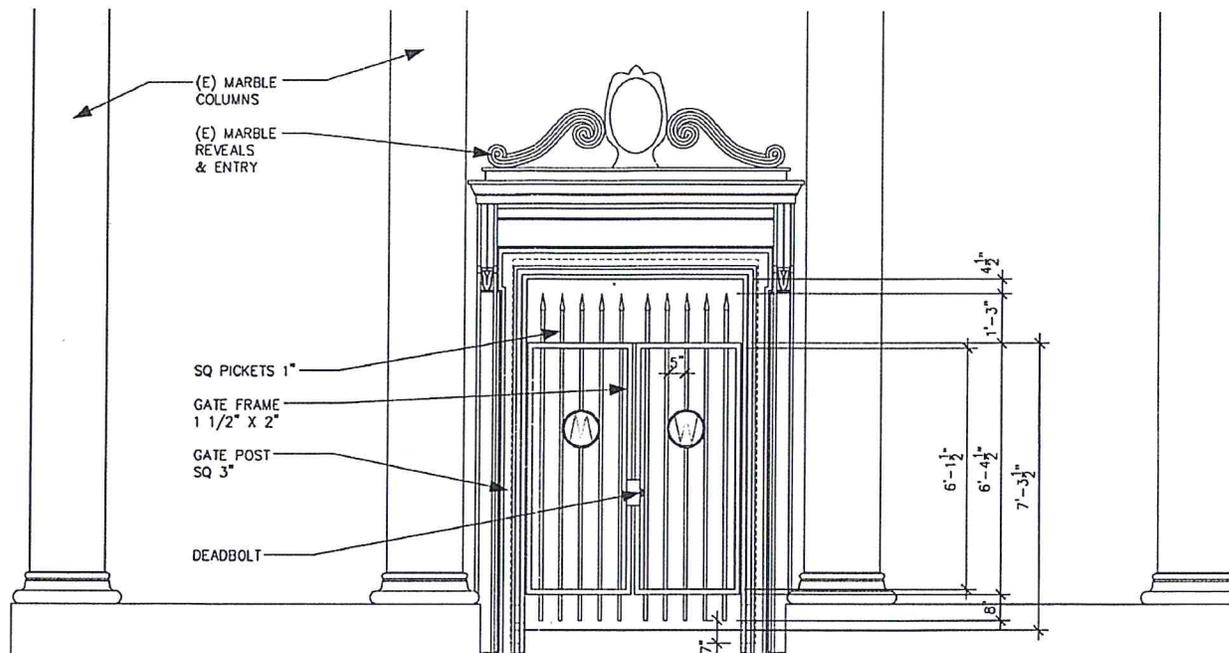
3. If the proposed alteration is required for the public safety due to an unsafe or dangerous condition.
4. If the proposed alteration relates to signage in scale to the architectural style of the building.

Finding: The request to add a gate to the front entrance, which is highly visible on the front façade off Duane Street and is a significant alteration which requires review by the Historic Landmarks Commission.

- C. Section 6.050(D) requires that the following standards shall be used to review exterior alteration requests. The standards summarized below involve the balancing of competing and conflicting interests. The standards are not intended to be an exclusive list, but are to be used as a guide in the Historic Landmark Commission's deliberations.

1. Section 6.050(D)(1) states that every reasonable effort shall be made to provide a compatible use for a property which requires minimal alteration of the building, structure, or site and its environment, or to use a property for its originally intended purpose.

Finding: The structure will retain its intended purpose and the gate will require minimal alteration. It is proposed to be installed directly behind the masonry framework. No other aspects of the building will be altered. See below.



2. Section 6.050(D)(2) states that the distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.

Finding: The applicant does not propose to remove or replace original architectural features or materials.

3. Section 6.050(D)(3) states that all buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.

Finding: Alterations do not seek to create an earlier appearance.

4. Section 6.050(D)(4) states that changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.

Finding: The proposed alterations do not affect changes that may have acquired historic significance.

5. Section 6.050(D)(5) states that distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.

Finding: The distinctive stylistic features and examples of craftsmanship in the entry alcove which characterize the building will be treated with sensitivity. The proposed installation will be installed so the posts on the sides are hidden behind the masonry and are as least visible as possible. The existing historic features of the structure will be left intact.

The gate proposed is galvanized metal and will be painted black. It will not stand out as an ornate addition. The addition of the gate does not alter distinctive stylistic features or examples of skilled craftsmanship which characterize the existing building. Existing ornamentation will be treated with sensitivity.

6. Section 6.050(D)(6) states that deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the

availability of different architectural elements from other buildings or structures.

Finding: No deteriorating features are proposed for repairs.

The applicant shall obtain all necessary City and building permits prior to the start of any future construction renovation work.

7. Section 6.050(D)(7) states that the surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.

Finding: Previous to this application, the owner has cleaned the front entrance to remove pigeon droppings. Regular cleaning is recommended to maintain an attractive appearance at the front entrance. During installation, the concrete sidewalk entrance and alcove will be cleaned with care not to damage the adjacent walls, and without compromising the structure or material of the building.

8. Section 6.050(D)(8) states that every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.

Finding: Archaeological resources, if any, will not be affected.

9. Section 6.050(D)(9) states that contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and addition do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood or environment.

Finding: The proposed alterations use contemporary metal materials, which could be considered sympathetic to the structure. The design is compatible with the size of the alcove and scale of the building. The gate will extend to just below the top of the door, approximately 8' high.

10. Section 6.050(D)(10) states that wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

Finding: The alterations proposed to the structure can be done in such a manner that if they were removed in the future, the essential form and integrity of the structure would be unimpaired. The proposed gate can be removed in the future if necessary without any disturbance to the

building. It will be left open and secure when the assembly area of the building is occupied.

V. CONCLUSION AND RECOMMENDATION

The request meets the applicable review criteria. Staff recommends approval of the request based on the Findings of Fact above with the following conditions:

1. Significant changes or modifications to the proposed plans as described in this Staff Report shall be reviewed by the Historic Landmarks Commission.
2. The gate shall remain open and secure when the assembly area of the building is occupied.
3. A key box is required for immediate access. The applicant shall contact Chief Ted Ames 503-325-2345 ex 2520 for direction and installation location.

The applicant should be aware of the following requirements:

The applicant shall obtain all necessary City and building permits prior to the start of construction.



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 COMMUNITY DEVELOPMENT

CITY OF ASTORIA

FEB 23 REC'D

BUILDING CODES

Paid 2/23/16
 FEE: \$100.00 NF

EX 16-02

EXTERIOR ALTERATION FOR HISTORIC PROPERTY

Property Address: 1215 Duane street Astoria, OR
 Lot 1700 Block 66 Subdivision McClures
 Map 8LD Tax Lot 1700 Zone C-4 Central Commercial

PK

For office use only:
 Classification: Primary Inventory Area: DNRAD

Applicant Name: Michelle Dreffenbach - Rickenbach Const.

Mailing Address: 37734 Eagle Lane, Astoria OR 97103

Phone: 503-741-0852 Business Phone: 503-325-3749 Email: michelle@rcbuilds.com

Property Owner's Name: Blue Mars LLC - Walter & Trish Bright

Mailing Address: 13868 65th Place NE, Kirkland, WA 98034

Business Name (if applicable): _____

Signature of Applicant: Michelle Dreffenbach

Signature of Property Owner: Trish Bright Blue Mars LLC

Existing Construction and Proposed Alterations: Existing Commercial use space in historically designated building. We propose an exterior black iron gate at the main entrance to restrict access when the building is unoccupied.

PK

^{historic} to install an iron gate at the main entrance of ^{building} existing commercial ^{use space} to restrict access when building is unoccupied.

excel to

For office use only:			
Application Complete:	<u>2-23-16</u>	Permit Info Into D-Base:	<u>2/24/16</u>
Labels Prepared:	<u>2/24/16</u>	Tentative HLC Meeting Date:	<u>3/15/16</u> <u>4/19/16</u>
120 Days:	<u>6/22/16</u>		

o all galv. metal
 painted black

FILING INFORMATION: Historic Landmarks Commission meets at 5:15 pm on the third Tuesday of each month. Complete applications must be received by the 13th of the month to be on the next month's agenda. A pre-application meeting with the Planner is required prior to the acceptance of the application as complete. **Only complete applications will be scheduled on the agenda.** Your attendance at the Historic Landmarks Commission meeting is recommended.

Briefly address each of the Exterior Alteration Criteria and state why this request should be approved. (Use additional sheets if necessary.):

1. Every reasonable effort shall be made to provide a compatible use for a property which requires minimal alteration of the building, structure, or site and its environment, or to use a property for its originally intended purpose.
The gate - will only be locked during 1st floor occupancy
and will not alter the use of the building.
2. The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.
Addtion of the gate will not require any of
the facade to be altered.
3. All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.
The design of the gate is simple and is compatable
to the building and it's historic character.
4. Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
The entrance has not been altered except for
the elimination of a step.
5. Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.
The addition of the gate will not alter any
of the existing details or craftsmanship.
6. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
No portion of the building will be repaired
or replaced.

CITY OF ASTORIA

7. The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
No surface cleaning will take place on the building.
The concrete sidewalk entrance will be cleaned
with care not to damage the adjacent walls.
8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.
There are no archaeological resources.
9. Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and addition do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood or environment.
The addition of the gate does not have any
affect on the historical, architectural or cultural
material. It compliments the existing structure.
10. Wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.
The additional gate can be removed at any
time without any disturbance to the building.

PLANS: A site plan indicating location of structure on the property and the location of the proposed alterations is required. Diagrams showing the proposed alterations indicating style and type of materials proposed to be used. Scaled free-hand drawings are acceptable. The City may be able to provide some historic technical assistance on your proposal.

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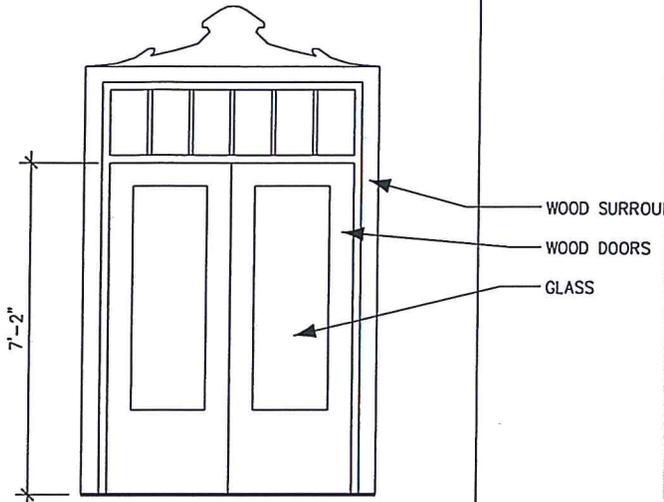
FEB 23 REC'D

BUILDING CODES

CITY OF ASTORIA

FEB 10 REC'D

BUILDING CODES



DOOR ELEVATION

SCALE: 1" = 4'-0"

ALL WORK SUBJECT TO FIELD INSPECTION

REVIEWED FOR CODE COMPLIANCE

PLAN APPROVED

Approved plans and specifications shall not be changed, modified or altered without authorizations from the building official, and all work regulated by the code shall be done in accordance with the approved plans. The issuance or granting of a permit or approval of plans, specifications and computations shall not be construed to be a permit for, or approval of, any violation of any of the provisions of the code or any other ordinance of the jurisdiction.

David Klass
City of Astoria, OR Date 2/25/16

OWNER'S COPY
APPROVED SET OF
PLANS MUST REMAIN
AT JOB SITE.

gate shall remain
station and secured
nly area of the building

req'd for immediate
awing or fire fighting
ct Chief Ted Ames
t. 2520 for direction
on location. OFC 506.

RICKENBACH CONSTRUCTION
MULTI-SERVICES CONTRACTORS

rci

Office 503-325-3743 • Fax 503-325-6105
3724 E. 9th Lane, Astoria, OR 97103

ARCHITECT: MICHELLE DIEFFENBACH

EXTERIOR GATE FOR
BRIGHT BANK
1215 DUANE STREET
ASTORIA, OR 97103

BLUE MARS LLC
WALTER & TRISH BRIGHT
13868 65TH PLACE NE
KIRKLAND, WA 98034
425-417-6512

PRE-LIMINARY

DATE:
1-29-16
DATE REVISED:

DRAWN BY:
MRD
FILE NAME:

SHEET:
A-1

STAFF REPORT AND FINDINGS OF FACT

April 12, 2016

TO: HISTORIC LANDMARKS COMMISSION

FROM: NANCY FERBER, PLANNER 

SUBJECT: REQUEST FOR EXTERIOR ALTERATION (EX16-03) BY CLYDE MANCHESTER AT 328 ALAMEDA AVE.

I. BACKGROUND SUMMARY

- A. Applicant: Clyde Manchester
10006 SW Canyon Rd
Portland, OR 97225
- B. Owner: Belo Properties LLC
Berenice Lopez Dorsey
5410 34th Place
Portland, OR 97239
- C. Location: 328 Alameda Avenue; Map T8N R9W Section 7CD, Tax Lot 2200; Lot 34 and 35, Block 3, Uniontown Alameda National Register Historic District
- D. Classification: Primary historic structure in Uniontown Alameda National Register Historic District, R-3
- E. Proposal: To install a door and fill in siding on the garage of existing triplex at 328 Alameda Avenue

F. Previous Applications: Building permits for interior remodeling were submitted February 2016. Previous owner in 1998 carried out exterior alterations without permits.



September 1998



Current condition 3-9-16

IV. APPLICABLE REVIEW CRITERIA AND FINDINGS OF FACT

- A. Section 6.050(B) requires that unless otherwise exempted, no person, corporation, or other entity shall change, add to, or modify a structure or site in such a way as to affect its exterior appearance, if such structure is listed or identified as a Historic Landmark or as Primary or Secondary without first obtaining a Certificate of Appropriateness.

Finding: The structure is listed as Primary historic structure in Uniontown Alameda National Register Historic District

- B. Section 6.050(C) states that the Historic Preservation Officer shall approve an exterior alteration request if:

1. There is no change in historic character, appearance or material composition from the existing structure or feature; or
2. If the proposed alteration duplicates the affected building features as determined from a photograph taken during either the Primary or Secondary development periods, or other evidence of original building features; or
3. If the proposed alteration is required for the public safety due to an unsafe or dangerous condition.
4. If the proposed alteration relates to signage in scale to the architectural style of the building.

Finding: The request to add a man door to the garage, which is highly visible on the front façade of the structure, is a significant alteration, and requires review by the Historic Landmarks Commission.

- C. Section 6.050(D) requires that the following standards shall be used to review exterior alteration requests. The standards summarized below involve the balancing of competing and conflicting interests. The standards are not intended to be an exclusive list, but are to be used as a guide in the Historic Landmark Commission's deliberations.

1. Section 6.050(D)(1) states that every reasonable effort shall be made to provide a compatible use for a property which requires minimal alteration of the building, structure, or site and its environment, or to use a property for its originally intended purpose.

Finding: The structure was originally built as duplex; the applicant will continue the use as a multi-family residence.

With this condition noted, distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.

6. Section 6.050(D)(6) states that deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.

Finding: The siding to fill in around the door on the garage will be smooth hardiplank siding, and will match the existing siding that is similar in design, color and texture on the house. At the time of this staff report, new vinyl windows were installed to replace existing windows of the same size and in the same location, with the original trim detail retained.

The applicant shall obtain all necessary City and building permits prior to the start of any future construction renovation work.

7. Section 6.050(D)(7) states that the surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.

Finding: No surface cleaning is proposed.

8. Section 6.050(D)(8) states that every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.

Finding: Archaeological resources, if any, will not be affected.

9. Section 6.050(D)(9) states that contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and addition do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood or environment.

Finding: Most of the proposed alterations are based on historic photographs and are of materials similar to the original materials. The proposed alterations use contemporary materials, which could be considered sympathetic to the structure, particularly if the trim detail is maintained for the proposed door.

JAN 26 REC'D

BUILDING CODES



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COMMUNITY DEVELOPMENT

EX 16-03

FEE: \$100.00 Paid 1/26/16
N.F. Credit

EXTERIOR ALTERATION FOR HISTORIC PROPERTY

Property Address: 328 Alameda, Astoria OR 97103
Lot 35 1/2 Lot 34 Block 3 Subdivision Taylor's
Map 8.9.7CD Tax Lot 80907CD02200 Zone R-5

For office use only:

Classification: Primary Inventory Area: Uniontown-Alameda NRHD

Applicant Name: Clyde Manchester
Mailing Address: 10006 SW Canyon Rd, Portland OR 97225
Phone: 360-606-7032 Business Phone: 503-244-9232 Email: cluede@helppdx.com

Property Owner's Name: Bernice Lopez-Dorsey
Mailing Address: 5410 SW 34th Place, Portland OR 97239
Business Name (if applicable): Belo Properties LLC

Signature of Applicant: Clyde Manchester
Signature of Property Owner: [Handwritten Signature]

Existing Construction and Proposed Alterations: See Attached Notes
Exterior man
to install door on garage & replace siding on existing triplex

For office use only:			
Application Complete:	<u>3/9/16</u>	Permit Info Into D-Base:	<u>3-17-16</u>
Labels Prepared:	<u>3/17/16</u>	Tentative HLC Meeting Date:	<u>3/15/16 4/19/16</u>
Inclu holidays +Holidays 120 Days:	<u>7/7/16</u>		

CITY OF AUSTIN

2014

BUILDING CODES

FILING INFORMATION: Historic Landmarks Commission meets at 5:15 pm on the third Tuesday of each month. Complete applications must be received by the 13th of the month to be on the next month's agenda. A pre-application meeting with the Planner is required prior to the acceptance of the application as complete. **Only complete applications will be scheduled on the agenda.** Your attendance at the Historic Landmarks Commission meeting is recommended.

Briefly address each of the Exterior Alteration Criteria and state why this request should be approved. (Use additional sheets if necessary.):

1. Every reasonable effort shall be made to provide a compatible use for a property which requires minimal alteration of the building, structure, or site and its environment, or to use a property for its originally intended purpose.

See ATTACHED

2. The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.

See ATTACHED

3. All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.

See ATTACHED

4. Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.

See ATTACHED

5. Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.

See ATTACHED

6. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.

See ATTACHED

7. The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.

Agreed

8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.

Agreed

9. Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and addition do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood or environment.

See Attached

10. Wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

See Attached

PLANS: A site plan indicating location of structure on the property and the location of the proposed alterations is required. Diagrams showing the proposed alterations indicating style and type of materials proposed to be used. Scaled free-hand drawings are acceptable. The City may be able to provide some historic technical assistance on your proposal.

Products and Services

What can we help you find?

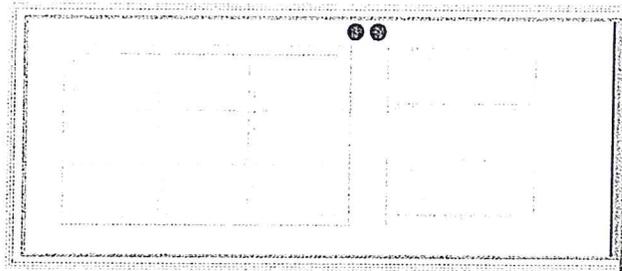
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Corvallis

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JELD-WEN Model # 735641 Internet # 202036412 Store SKU # 827413

32 in. x 80 in. 9 Lite Primed Premium Steel Prehung Front Door with Brickmould

Write a Review Questions & Answers (6)



\$208.00 /each

IN STOCK AT YOUR SELECTED STORE

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 Corvallis, OR 97330 Aisle 32, Bay 012
 Text Product Location

Open Expanded View

Click Image to Zoom



** must be true divided*

PRODUCT OVERVIEW Model # 735641 Internet # 202036412 Store SKU # 827413

JELD-WEN Premium Steel doors offer that relied-upon strength, durability and ease of maintenance that complement your home's style. Their high definition panels create an upscale look that adds architectural interest for increased curb appeal. Our strong and secure steel doors are built to prevent

JAN 26 REC'D

Existing Conditions and Proposed Alterations BUILDING CODES

The existing house was originally built in 1918.

Over the years the house has been converted into 3 separate units.

By September of 2015 there had been a complete Change on the exterior of the house from its original state.

(See attached pictures of existing conditions.)

All siding is now composite Hardi Backer lap siding with composite trim boards on the entire exterior. The windows are all now vinyl, some in very poor shape. The garage door was that of about the 1960s era has now fallen off.

The exterior doors are metal flat panel doors in very poor condition visually and also lack the ability to have good security.

Other than the actual shape of the exterior and the concrete entry there is no real resemblance of the house being of 1918 construction.

The proposed alterations will consist of making a good faith effort to restore some of the caricatures of the exterior of the house while at the same time insuring the house will be able to be maintained better and the livability of the occupants improved.

X The proposed doors are of good quality and are much more consistent with the era of the house. (Picture and description attached)

X The new proposed entry at the front (A-see attached) will allow for a better street appearance while staying with the caricature of the era. Along with a safer location for people to enter the lower residence.

The garage front facade (B- see attached) will be made as to look like a portion of the house and will have the same entry door and have windows of nautical design on each side of it with the same type of the existing siding filling in the rest of the area. (See proposed elevations attached)

X We are proposing a new small deck (C- see attached) off the back of the house in order to make the main floor a more livable and enjoyable space while being able to see the wonderful view of the area. It would go out no further than the existing lower deck and be built of the same materials as the lower deck. Deck size: 12' wide x 6' deep

The existing lower deck on the north side is approx. 10' wide 6' deep with another 4' of steps

All materials and style for the proposed deck will match the existing one.

Pressure treated framing lumber and cedar 2 x 6 decking

CITY OF ASTORIA

1917

OFFICE OF THE CLERK

Nancy Ferber

From: H.E.L.P. Group Inc <info@helppdx.com>
Sent: Monday, March 07, 2016 6:17 PM
To: Clyde Manchester; Nancy Ferber
Subject: Fwd: 328 Alameda proposed alteration

Follow Up Flag: Follow up
Flag Status: Flagged

----- Forwarded message -----

From: Nancy Ferber <nferber@astoria.or.us>
Date: Mon, Mar 7, 2016 at 5:37 PM
Subject: 328 Alameda proposed alteration
To: Berenice Lopez-Dorsey <info@helppdx.com>

Hi Berenice,

Thanks for stopping by today.

Thank you for your time as well!

To answer your questions about the fence: it's okay to put your fence up to the property line. It can be up to 4' high. If you want to place it closer to the sidewalk, you'll need to check with our engineering staff about using the right of way. Where exactly were you thinking of putting it?

I will put it right on the property line up to 4" left side of home and entire back side with a set back 20" from the front of the property line as per the flyer I received from the City.

I got some answers to your other questions:

Even though your proposed changes are not as numerous as the first proposal, because you plan on altering the garage, which is a primary façade the request needs to go to the Historic Landmarks Commission. To get this wrapped up and on the agenda for April, I'll just need the specific design and materials of the doors you're

thinking about using. If you can email or send me the spec sheet that works, or even a link or picture of an example. The more details the better-for both the garage door and the front door.

I would really appreciate a recommendation from what you think the Historic Landmark commission will considered acceptable.

I know they will be fiberglass but the style confuses the heck out of me; while driving around the Historic Distric, everyone has a different door that

may or may not meet what they will considered acceptable.

Again, will be happy to try to comply with the rules and at this point would like to avoid any further delays and get my tenant in as soon as possible.

Are you still proposing to put square windows on either side of the door on the garage? If so, let me know what kind, and again the materials and design.

NO WINDOWS, ONLY DOOR TO GARAGE

We were recommending combining your lots in conjunction with the back porch changes, it would have helped with your lot coverage issue, but because you're no longer remodeling the back deck it's not as much of a concern. It's completely up to you if you want to combine lots in the future or not.

I MAY CONSIDER THIS LATER BUT FOR NOW.

Please let me know if you have other questions. Thanks!

I truly appreciate your help on this.

Berenice

Nancy

Nancy Ferber

City Planner



South Side
328 Alameda

EXISTING
CONDITIONS

CITY OF ASTORIA

JAN 26 REC'D

BUILDING CODES

3



South side
328 Alameda

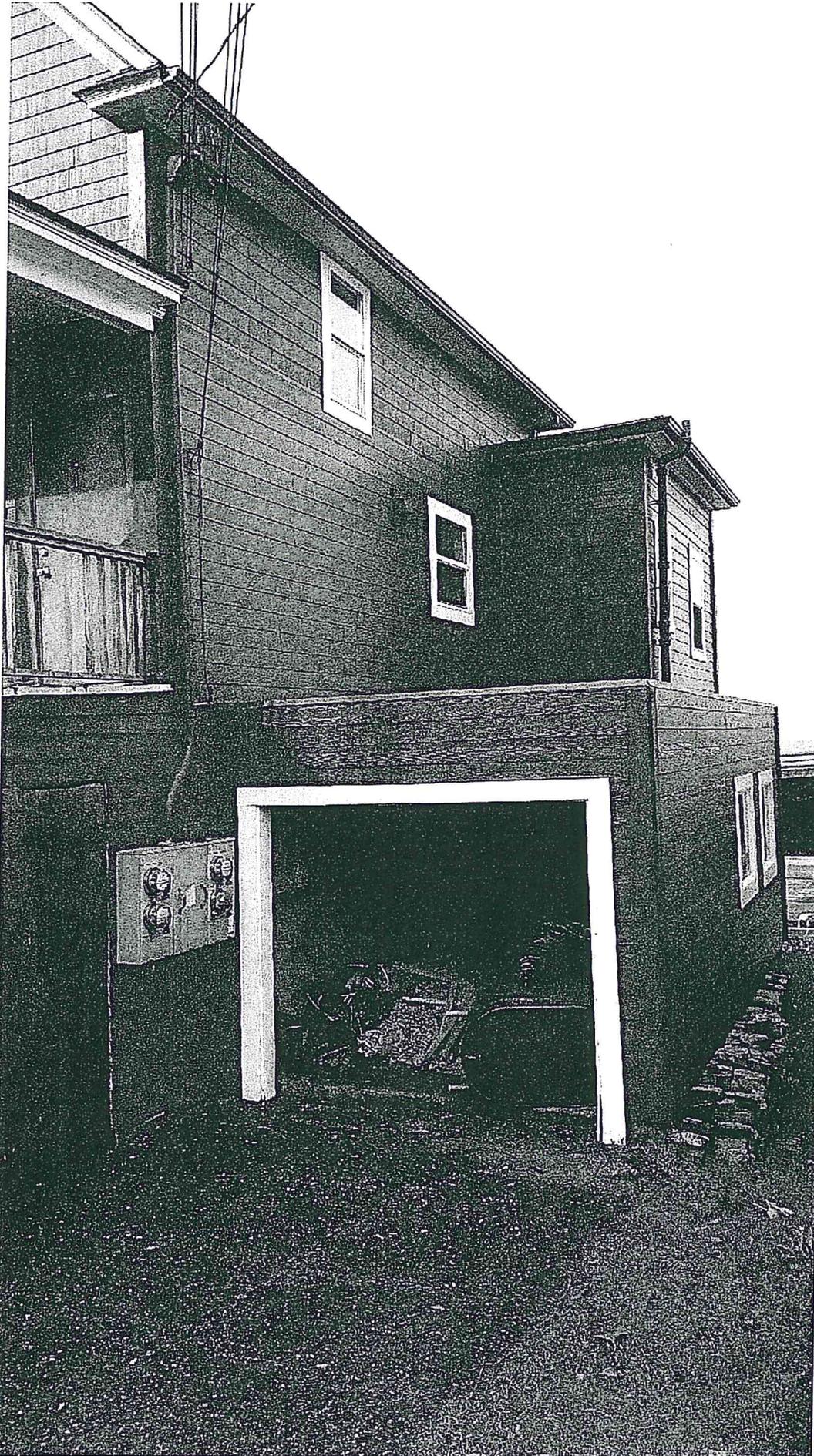
CITY OF ASTORIA

JAN 26 REC'D

BUILDING CODES

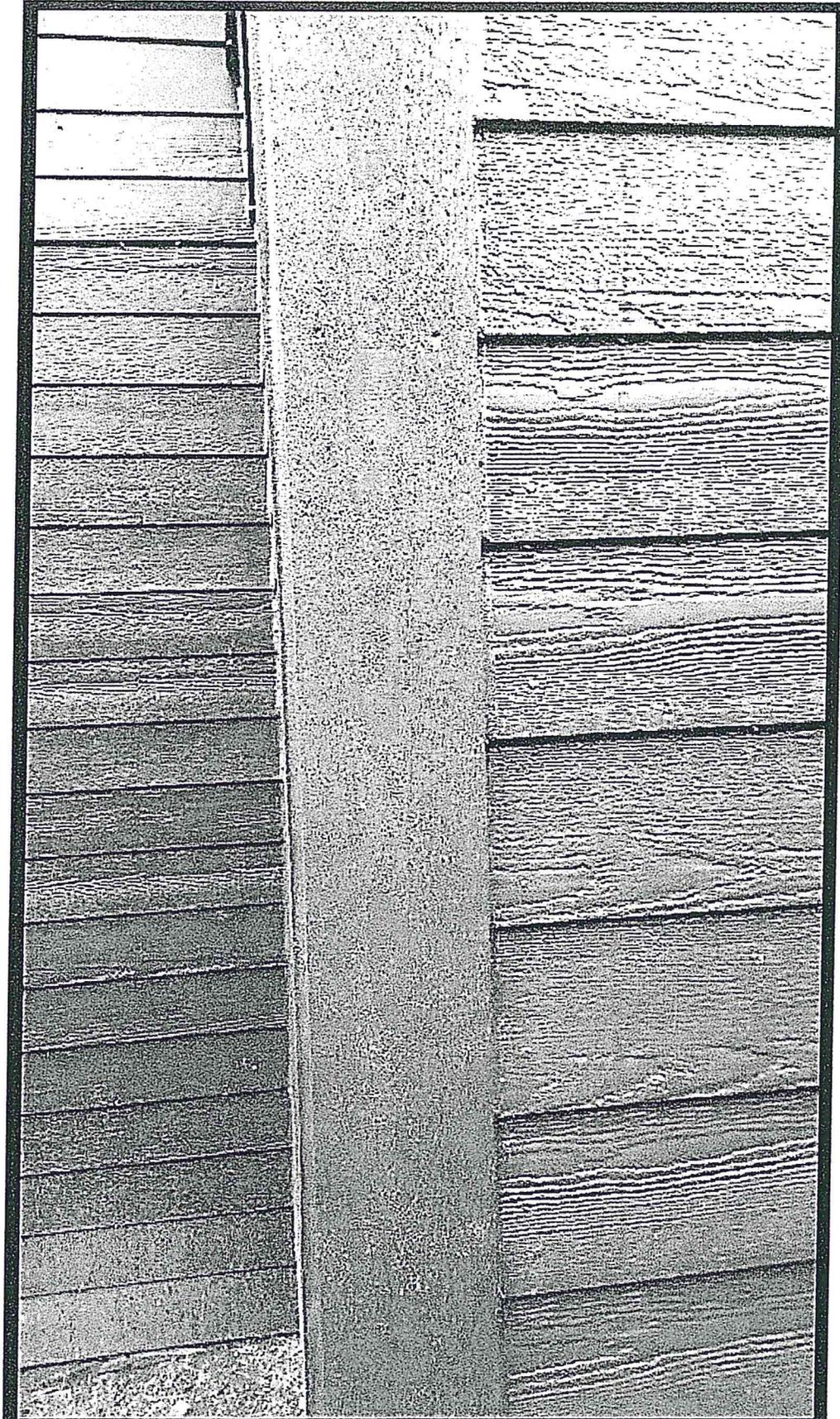
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Proposed ALTERATION A + B



CITY OF ASTORIA
JAN 26 REC'D
BUILDING CODES

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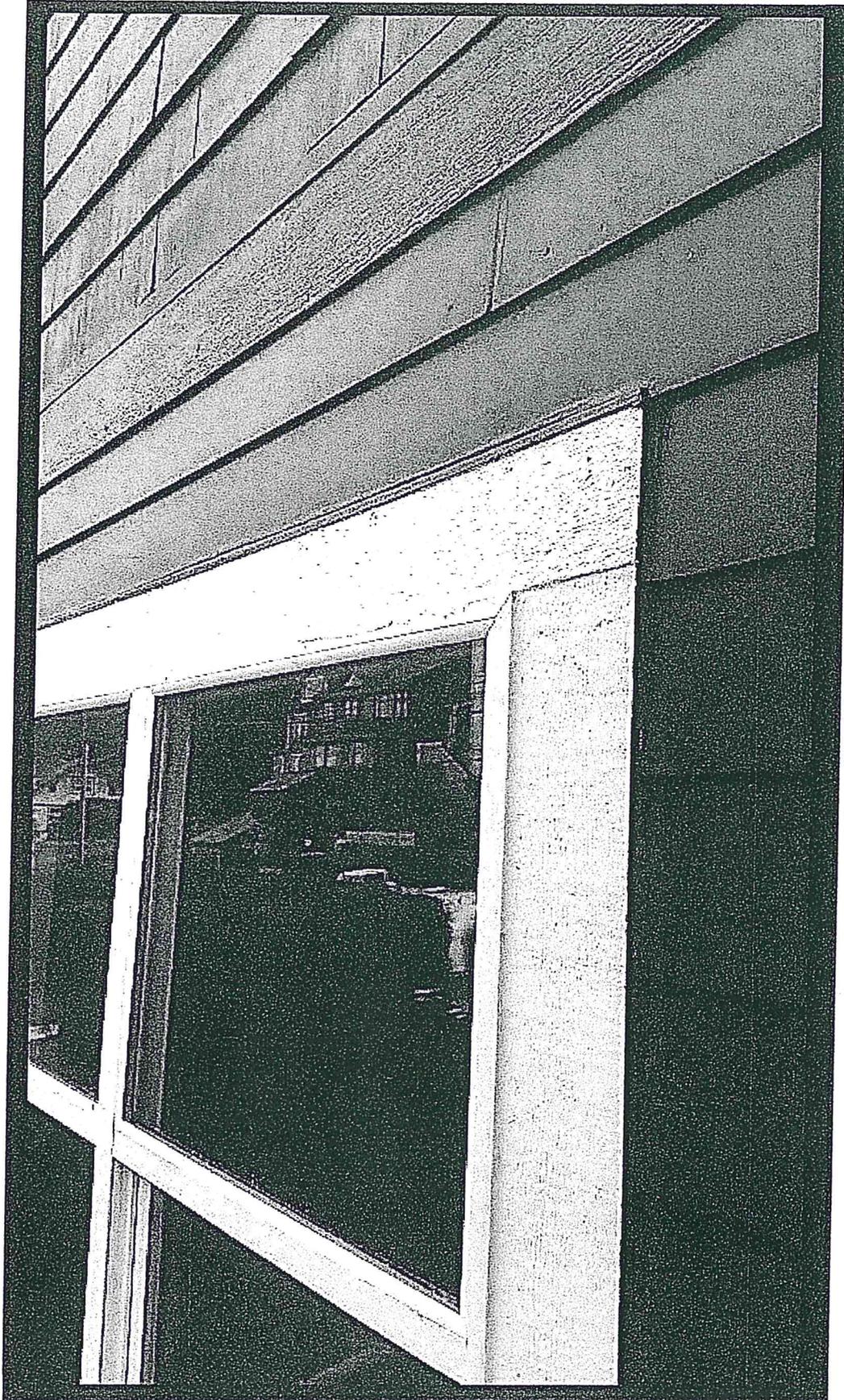


CITY OF ASTORIA

JAN 26 REC'D

BUILDING CODES

Existing Conditions
Siding and Trim



CITY OF ASTORIA

JAN 26 REC'D

BUILDING CODES

Existing Conditions
Vinyl windows
and trim