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# AGENDA

## HISTORIC LANDMARKS COMMISSION

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June 21, 2016

5:15 p.m.

2<sup>nd</sup> Floor Council Chambers

1095 Duane Street • Astoria OR 97103

1. CALL TO ORDER
2. ROLL CALL
3. MINUTES
  - a. May 17, 2016
4. PUBLIC HEARINGS
  - a. Exterior Alteration EX16-06 by Gail Duncan to remodel and expand the side porch and stairs on an existing single family dwelling at 136 W Grand in the R-1, Low Density Residential zone.
  - b. New Construction NC16-02 by Clydene Paul, Sunset Presort to locate a Tuff Shed on the back area of the property near the retaining wall, adjacent to historic properties at 397 Marine in the C-3, General Commercial zone.
  - c. Exterior Alteration EX16-04 by Tim Brizendine to install skylights, dormers and new front door on an existing historic single family dwelling at 435 Exchange in the R-2, Medium Density Residential zone.
  - d. New Construction NC16-03 by Peter Nevins to construct a 10' x 10' studio outbuilding on property adjacent to historic properties at 1233 Grand in the R-3, High Density Residential zone.
5. REPORT OF OFFICERS

**THIS MEETING IS ACCESSIBLE TO THE DISABLED. AN INTERPRETER FOR THE HEARING IMPAIRED MAY BE REQUESTED UNDER THE TERMS OF ORS 192.630 BY CONTACTING SHERRI WILLIAMS, COMMUNITY DEVELOPMENT DEPARTMENT, 503-338-5183.**

6. PUBLIC COMMENT (Non-Agenda Items)

7. ADJOURNMENT

## HISTORIC LANDMARKS COMMISSION MEETING

City Council Chambers

May 17, 2016

### CALL TO ORDER – ITEM 1:

A regular meeting of the Astoria Historic Landmarks Commission (HLC) was held at the above place at the hour of 5:18 p.m.

### ROLL CALL – ITEM 2:

Commissioners Present: President LJ Gunderson, Vice President Michelle Dieffenbach, Commissioners Jack Osterberg, Mac Burns, and Thomas Stanley.

Commissioners Excused: Paul Caruana and Kevin McHone

Staff Present: Planner Nancy Ferber, Administrative Assistant Sherri Williams, and Community Development Director Kevin Cronin. The meeting is recorded and will be transcribed by ABC Transcription Services, Inc.

### APPROVAL OF MINUTES – ITEM 3(a):

President Gunderson asked if there were any changes to the minutes of April 19, 2016. Commissioner Osterberg noted the following corrections:

- Page 2, last paragraph, second sentence – “Mr. Rickenbach confirmed it would be made of ~~mild~~ **milled** steel...”
- Page 6, fifth paragraph, fourth sentence – “He did not know the design of the parking area, but it looked as if the area would need ~~tangents~~ **tandem parking**...”

Commissioner Stanley moved to approve the minutes of April 19, 2016 as corrected; seconded by Commissioner Burns. Ayes: President Gunderson, Vice President Dieffenbach, Commissioners Osterberg, Burns, and Stanley. Nays: None.

### PUBLIC HEARINGS:

President Gunderson explained the procedures governing the conduct of public hearings to the audience and advised that the substantive review criteria were listed in the Staff report.

### ITEM 4(a):

EX16-03 Exterior Alteration EX16-03 by Clyde Manchester to install a door on the garage and replace siding on an existing building at 328 Alameda in the R-3, High Density Residential zone. This issue was continued from the April 19, 2016 meeting.

President Gunderson asked if anyone objected to the jurisdiction of the HLC to hear this matter at this time. There were no objections. President Gunderson asked if any member of the HLC had a conflict of interest, or any ex parte contacts to declare.

President Gunderson declared that she drove by the property. She requested a presentation of the Staff report.

Planner Ferber presented the Staff report and recommended approval with conditions. While not a Condition of Approval, Staff recommended the HLC require the window on the north side of the building be replaced with a window of vinyl clad or other appropriate material.

Commissioner Osterberg confirmed that no new changes or improvements have been added for the HLC to review since the last meeting. He asked if Staff had made any changes to the Conditions of Approval. Planner Ferber replied no, but the Conclusions and Recommendations now reiterate the original Conditions of Approval.

Commissioner Stanley understood the HLC was only reviewing the man door and siding. However, the current Staff report contained photographs of a new door on the west end of the front of the building. Staff confirmed it was a window, not a door. Before the application was complete, it was proposed to be a door, but it has always been a window and is not part of the permit currently being reviewed.

Vice President Dieffenbach asked for more details about Staff's recommendation to install a vinyl window on the north side of the building. Staff explained the window could only be seen from the bridge. The window is not part of this application, but because it is visible from the right-of-way, the HLC has jurisdiction over the window. Most properties do not have a viaduct in their backyard.

Commissioner Osterberg understood that no new items had been added for the HLC to review. However, Staff is urging the Commission to consider the window on the north side. He asked Staff to advise how to proceed. Planner Ferber explained that the north window was not part of the application, so it should not factor into the HLC's decision about the garage or the siding. However, the window is noncompliant and could come under review.

Commissioner Burns asked how the window would come under review. President Gunderson said at the last meeting, a neighbor had stated the window on the north side had been changed to a single pane and the proposed work had already been completed. So, Staff visited the site to verify the condition of the property and is now reporting back to the Commission on what they have seen since the last meeting.

Planner Ferber confirmed that Staff could implement Code enforcement even if the HLC did not make a decision about the window. She just wanted the HLC to be aware that the window was noncompliant so that if it came up, the window would not be a surprise. The window should have been replaced with something more historically appropriate than vinyl. Replacing the window is not a requirement or a recommendation, but if it addressed, it should be replaced with a non-vinyl material.

Commissioner Stanley asked if the window could be addressed as part of this hearing. Director Cronin said yes, the window is within the HLC's jurisdiction because it is in a public right-of-way.

President Gunderson said the house had several types of windows, so the windows should be addressed. She opened public testimony for the hearing and asked for the Applicant's presentation.

Clyde Manchester, 328 Alameda, Astoria, displayed a recent photograph of the building and said he was present to answer questions. He noted he had more photographs in a binder.

Director Cronin confirmed the Applicant's photographs needed to be scanned in and added to the public record.

President Gunderson said the property looked nice, but the stick-on unit numbers were out of character with the building. Mr. Manchester said some of the unit numbers were brushed nickel.

Commissioner Stanley asked if the Applicant was willing to change the window on the north side. Mr. Manchester said at this point, he could arrange to change the window if it would make everyone happy. He had tried to do interior work during the rainy season, but the window leaked and was causing serious damage. If the window needs to be changed, so be it. Commissioner Stanley noted that the property looked very nice.

President Gunderson called for any presentations by persons in favor of the application.

Ted Osborn, 345 Alameda, Astoria, said Alameda had been on its back for a long time and about four houses on the bridge side are dead. About 10 other houses along the street have not been maintained since at least 2007, when he first moved to the neighborhood. He lives three houses to the west of the Applicant's property. He was pleased to see that someone was sinking serious money into the house. There have been many times when property owners just painted part of their house. However, in this case, the property owners had a plan and a crew of good local contractors to work on the entire property. This is what the area needs and this house is now ready to perform for a number of years. He and his wife visited the property about three weeks ago just thank the owners for coming to Astoria. He loves what they have done, but was also disappointed about the stickers. He

would hate to see the HLC chase the owners out of town and recommended the Commission thank them for doing what they are doing.

President Gunderson called for any presentations by persons impartial to or against the application. Seeing none, she called for closing remarks of Staff. There were none. She closed the public testimony portion of the hearing and called for Commission discussion and deliberation.

Commissioner Burns said he approved of the application. He also wanted the window changed, but believed it was strange to tie that in because it was not part of the application. He believed Staff had done a good job of making sure the Applicant understood work could not be completed outside of the proper protocols or before the project was approved.

Commissioner Osterberg agreed and said he did not believe there was an overwhelming reason for the HLC to add a new condition of approval requiring the window be changed. No Findings or Conditions of Approval had been submitted on the window. He understood Staff was trying to be helpful, but he was not in favor of requiring the window replacement.

Vice President Dieffenbach said she agreed with the original application. However, she was frustrated because the HLC represents a quality of standard to the community and it is difficult to make a judgment when projects do not come before the Commission to make sure they meet the criteria. The HLC would not have approved a vinyl window, but she understood it was not part of the application. She believed code enforcement was the most appropriate way to address the window. She did not want the record to reflect that she had approved something that should not have been approved.

Commissioner Stanley said if the project had been reviewed by the HLC before the work had been done, there may have been no differences. The property looks nice and he appreciated anyone who comes to the community to make investments that improve the community. He did not believe he was in a position to enforce making changes to the window. He could tell the project was a major investment and believed the property owner could get together with Staff to work out the issues with the window. He liked the project and had no problems with it, but was sorry the HLC could not review it before the work was done. If the owners buy another building in a historic area, the HLC can be very helpful.

President Gunderson said she agreed with Vice President Dieffenbach on the window. The HLC would not have approved the vinyl because the window is very visible from the bridge. She preferred two motions, one for the application and one for the window. However, she understood other Commissioners did not want to pursue the window. She asked that the Applicant work with Staff to put the correct window into the house. The Commission appreciated all of the work adding the house was beautiful.

Commissioner Stanley moved that the Historic Landmarks Commission (HLC) adopt the Findings and Conclusions contained in the Staff report and approve Exterior Alteration EX16-03 by Clyde Manchester; seconded by Commissioner Burns. Motion passed unanimously.

President Gunderson read the rules of appeal into the record.

ITEM 4(b):

NC16-01      New Construction NC16-01 by Tim Kennedy for Fort George Brewery to construct an 8' X 44' galvanized steel bike shelter at 1492 Duane in the C-4 Central Commercial zone.

President Gunderson asked if anyone objected to the jurisdiction of the HLC to hear this matter at this time. There were no objections. President Gunderson asked if any member of the HLC had a conflict of interest, or any ex parte contacts to declare.

Commissioner Burns declared that he knows Tim Kennedy and occasionally goes to Fort George Brewery, but he did not believe this would affect his judgment. He has not discussed the project with the Applicant.

President Gunderson declared that she goes to the brewery and knows the Applicants, but has not discussed the project with anyone. She requested a presentation of the Staff report.

Planner Ferber presented the Staff report and recommended approval with conditions.

President Gunderson opened public testimony for the hearing and asked for the Applicant's presentation.

Jack Harris, 190 W. Exchange, Astoria, said Fort George started off as a little pub and has grown. The owners are sensitive to the issues that their growth has brought to the downtown area. On Saturdays, 50 employees work over the course of two shifts, many of whom drive to work. Fort George wants to build the new bike shelter as part of the solution to the parking problems Downtown and to provide general sustainability. All employees who have worked for Fort George for at least a year will be offered a bicycle. Employees who accept this benefit must use their bicycle at least 40 days of each year. Fort George does not have anywhere to put the bicycles, but they do have the lot across the street. One of the parking spots will be converted to a bike shelter that will easily hold 20 bikes. He believed the net benefit of giving up one off-street parking spot will be very positive. He offered to answer questions about the project.

Commissioner Osterberg asked if the bike shelter would have lighting. Mr. Harris said lighting would not be installed because there was a light pole nearby and the shelter would be used in the summer months when lighting is not an issue. However, if lighting does become an issue, lights will be installed later. A solar panel and solar lights could be installed.

Commissioner Osterberg said in the winter, it gets dark early and while Fort George Brewery is still open. There could be a real benefit to illuminating the inside of the bike shelter. Mr. Harris said he agreed, but he wants to wait and see what kind of light the bike shelter gets off of the streetlight on the corner of 15<sup>th</sup>. He hoped the ambient light would be enough, but if not, the situation would be corrected.

Vice President Dieffenbach confirmed the depth of the parking lot was 44 feet long, which would require a long roof. She would have liked to see a picture of the proposed shelter. Mr. Harris said he wanted to get as many bikes as possible in the shelter without taking away any more parking.

President Gunderson called for any presentations by persons in favor of the application.

Joe Garrison, 5249 Birch, Astoria, said he was one of 31 bakers at Blue Scorcher Bakery, five of whom regularly park at the existing bike racks in front of the bakery. In the summer, about 10 of the bakers commute by bike. Several of the hotels now provide free bicycles and he often sees bikes leaned up against the buildings because there is no place to park them. Touring by bicycle is also growing and the bicycle touring season is getting broader. This proposed bike shelter will earn its keep right away because there are many people looking for places to park bicycles in that area. The look of the shelter will add to the sense that Astoria as a working town, which is the reason many people come here. Astoria does not look like every other town. This bike rack will look like it was part of an old cannery, which he liked.

Tim Kennedy, 3708 Irving, Astoria, said he was in favor of the bike shelter. He rides his bicycle when he does not need his vehicle for hauling materials. He has noticed that Fort George and the Lovell Building are currently very congested by bicycle users during the summer and winter. The use of galvanized steel fits in with the character of marine waterfront because it is very corrosion resistant. He believed it was a very low maintenance material unless it is painted. The only change he proposed was to use a slightly different style of roofing material with no external fasteners to keep maintenance to a minimum. He confirmed for Commissioner Stanley that the 40-foot length of the shelter would run north and south.

Commissioner Stanley asked if the Applicants had considered providing any type of security. Mr. Kennedy said people would need to provide their own locks. The shelter would not be enclosed. The 44-foot by 8-foot roof would be supported by four steel frames, so the shelter would be open underneath the roof. Between the steel frames, there will be bike stanchions. He confirmed for President Gunderson that the shelter would be open to the public.

President Gunderson called for any presentations by persons impartial to or against the application. Seeing none, she called for closing remarks of Staff.

Planner Ferber noted that any signage would need to be approved by the Planning Department and Public Works said the driveway cut would need to be improved.

President Gunderson closed the public testimony portion of the hearing and called for Commission discussion and deliberation.

Vice President Dieffenbach and Commissioner Stanley said they wished the Staff report included a drawing of the shelter. Commissioner Stanley added the concept was great and it would be terrific if more people used bicycles.

Commissioner Burns said Fort George has always been very respectful of their buildings and the neighborhood. They understand historic preservation and Astoria's unique feel. He had no reservations about the project and believed it would look great.

Commissioner Osterberg agreed and said the materials and architecture were compatible with the surrounding historic structures. The compatible structures listed in the Staff report are large and imposing and the bike shelter is small and open. The shelter does not attempt to compete with the large surrounding structures, which helps make it compatible with the surrounding area.

President Gunderson said Fort George has come before the Commission many times. They have done an outstanding job and have become an important factor in the community. Fort George does everything first class and she is always proud to bring people to see the latest things they have done. She supported the application. Encouraging employees to ride bikes and buying the bikes speaks volumes. Fort George runs a great operation.

Vice President Dieffenbach moved that the Historic Landmarks Commission (HLC) adopt the Findings and Conclusions contained in the Staff report and approve New Construction NC16-01 by Tim Kennedy; seconded by Commissioner Burns. Motion passed unanimously.

President Gunderson read the rules of appeal into the record.

#### COMMUNICATIONS – ITEM 5(a):

##### **Special Assessment Application for 1121 11<sup>th</sup> Street by Kathleen Karan**

Planner Ferber said the State Historic Preservation Office (SHPO) sent Staff the application, recommended the HLC review it, and forward any comments. The Staff report included the application and a memorandum, which she briefly reviewed.

Director Cronin added that an Exterior Alteration permit had been issued in 2012, so Staff had no concerns.

Commissioner Osterberg said many of the projects were interior work, but he understood that the special assessments were for approved exterior work. Staff explained that as soon as a property is approved for a special assessment, any interior or exterior work must be reported to SHPO. The work must meet standards set by the Secretary of the Interior, which is more than what the HLC reviews.

Commissioner Osterberg was surprised that landscaping would be reviewed as well. However, he fully supported the application. He was pleased to see so much detail and such specific proposals.

Commissioner Stanley moved that the Historic Landmarks Commission (HLC) support the Special Assessment Application for 1121 11<sup>th</sup> Street by Kathleen Karan; seconded by Commissioner Burns. Motion passed unanimously.

#### REPORTS OF OFFICERS/COMMISSIONERS – ITEM 6:

Director Cronin announced the Library Open House was scheduled for Wednesday, May 25, 2016 from 4:30 pm to 6:30 pm to take feedback on the future of the library. Columbia Memorial Hospital has also scheduled an open house on Thursday, May 26<sup>th</sup> at the Seafood Lab to discuss traffic and parking at the old gas station across from the Growler Station. City Engineer Nathan Crater coordinated the event.

## NEW BUSINESS – ITEM 7:

### **Item 7(a): Historic Preservation Month**

President Gunderson said at the City Council meeting on May 2<sup>nd</sup> that Mayor LaMear declared May as Historic Preservation Month. She circulated the proclamation, which she accepted at the Council meeting on behalf of the HLC.

Director Cronin added that on May 18<sup>th</sup>, he and John Goodenberger would be hosting a walking tour as part of the Astoria Downtown Historic District Association (ADHDA) Ned Talk series. The tour will feature a few vacant buildings downtown that are hidden gems. Also, ADHDA's semi-annual cleanup event is on May 21<sup>st</sup>. He also reported that he attended Michelle Reeves workshop called Developer for a Day at the Oregon Heritage Conference.

### **Item 7(b): Preserving Oregon Grant**

Director Cronin said Staff has applied for a grant to restore the Flavel commercial property. He would provide the HLC with an update at their next meeting in June. He briefly described the grant approval process and said a decision was expected by August.

### **Item 7(c): Tiny House Revolution**

Director Cronin explained that City Council set a goal regarding affordable housing, so Staff has been working on several issues in an attempt to increase housing opportunities. Staff has received many inquiries about tiny houses and language to allow them has been proposed as part of the Affordable Housing Code Text Amendments. However, the public still needs to be educated about these homes. Staff has partnered with a tiny homebuilder in Hammond who will temporarily place a home on City-owned property in downtown Astoria. The home will be in Astoria for four to six months. Staff will be working with the Tongue Point Job Corps Construction Trades program to build a similar home and needs exterior design recommendations from the HLC. He confirmed this will be a demonstration project and the public will have the opportunity to tour the tiny houses with a real estate agent.

Commissioner Osterberg understood the tiny houses would be allowed as accessory dwelling units (ADU). Director Cronin added they would only be allowed in residential zones. Staff has only received one application for an ADU in the last year, even though changes were made to the ADU codes. Staff hopes the tiny houses or allowing people to convert existing detached garages will encourage investment. He briefly noted the requirements for tiny houses.

President Gunderson said she preferred ADUs that match the style of the main dwelling. Director Cronin confirmed applications for tiny homes would be reviewed by the HLC and briefly noted the maximum size requirements of ADUs.

### **Item 7(d): 2016 Dr. Edward Harvey Historic Preservation Awards**

President Gunderson confirmed all of the Commissioners had driven by the nominated properties.

Administrative Assistant Williams gave the history of the award and explained the process for nominating a property. Staff did not receive any nominations from the community this year, so she reviewed Exterior Alteration permits that had been issued in the last two years and chose the homes with the most impressive work. She reviewed each of the nominated properties, which were included in the Staff report.

Commissioners discussed each property with Staff and recommended the First Presbyterian Church and the Fisher Building be considered next year, as work was still not complete.

Commissioner Osterberg moved that the Historic Landmarks Commission (HLC) recommend the residential property at 3720 Duane Street as the winner of the Dr. Harvey Award; seconded by Commissioner Burns. Motion passed unanimously.

**PUBLIC COMMENT – ITEM 8:**

President Gunderson said at the May 2<sup>nd</sup> City Council meeting, she commended Planner Ferber and Director Cronin for doing such a great job on the Staff reports and presentations. She thanked Administrative Assistant Williams for making sure the Commissioners receive the reports and answer questions. Vice President Dieffenbach added that she appreciated Staff's progress report emails.

**ADJOURNMENT:**

There being no further business, the meeting was adjourned at 7:43 p.m.

**APPROVED:**

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Community Development Director

DRAFT

## STAFF REPORT AND FINDINGS OF FACT

June 16, 2016

TO: HISTORIC LANDMARKS COMMISSION

FROM: NANCY FERBER, PLANNER 

SUBJECT: EXTERIOR ALTERATION REQUEST (EX16-06) BY GAIL DUNCAN FOR 136 W. GRAND

### I. BACKGROUND SUMMARY

- A. Applicant: Gail Duncan  
136 W. Grand  
Astoria OR 97103.
- B. Owner: Gail Duncan  
136 W. Grand  
Astoria OR 97103
- C. Location: 136 W Grand Avenue; Map T8N R9W Section 7DC, Tax Lot 6900, Lot 12,13, Block 3, Robb's, Zoned R-1
- D. Classification: Primary contributing in Robbs Addition
- E. Proposal: To expand and remodel existing side porch and staircase on historic single family dwelling.
- F. Previous Applications: Building permits were approved October 2015 for installation of an air conditioner and air handling unit, a certificate of appropriateness was issued by Mike Morgan. In 2009, a permit to install a new sewer line from Grand to the house was approved. A lot line adjustment to combine the two lots was submitted but never recorded, it is recommended for any future projects at the site to allow for more flexibility with setbacks.

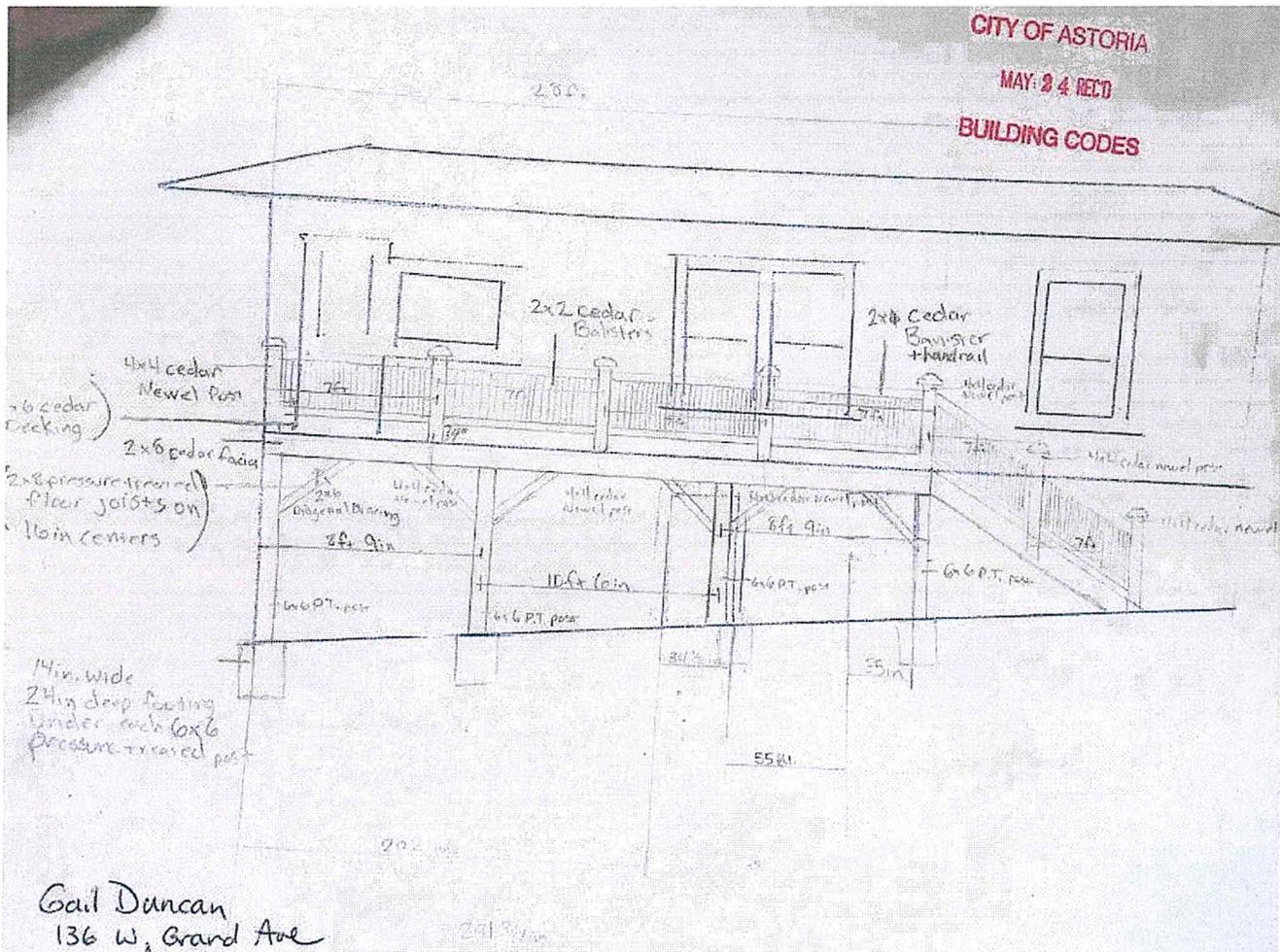


### II. BACKGROUND

The residence was constructed in c. 1917 as a single-family residence and is a Bungalow style. There have been only

minor alterations to the structure over the years. The house is a one story building with a front facing gable roof, exposed rafters supporting overhanging eaves and bracketed raked molding. The residence fronts W. Grand Avenue and is set back approximately fifty feet. A driveway is located on the west side to Lincoln Street. The house is very isolated and difficult to see from Grand Avenue.

The applicant is proposing to expand the side porch and replace the stairs and landing which are in poor condition. The proposed expansion is shown below. The porch would extend past the pair of windows, with a new railing, balustrades, newel posts and landing area. The new porch with cedar decking would be 28' long, 10' wide.



### III. PUBLIC REVIEW AND COMMENT

A public notice was mailed to all property owners within 100 feet pursuant to Section 9.020 on May 27, 2016. A notice of public hearing was published in the *Daily Astorian* on June 14, 2016. Any comments received will be made available at the Historic Landmarks Commission meeting.

**IV. APPLICABLE REVIEW CRITERIA AND FINDINGS OF FACT**

- A. Section 6.050(B) requires that unless otherwise exempted, no person, corporation, or other entity shall change, add to, or modify a structure or site in such a way as to affect its exterior appearance, if such structure is listed or identified as a Historic Landmark or as Primary or Secondary without first obtaining a Certificate of Appropriateness.

Finding: The structure is listed as a Primary in the Robbs Addition and requires review by the HLC.

- B. Section 6.050(C) states that the Historic Preservation Officer shall approve an exterior alteration request if:

1. There is no change in historic character, appearance or material composition from the existing structure or feature; or
2. If the proposed alteration duplicates the affected building features as determined from a photograph taken during either the Primary or Secondary development periods, or other evidence of original building features; or
3. If the proposed alteration is required for the public safety due to an unsafe or dangerous condition.
4. If the proposed alteration relates to signage in scale to the architectural style of the building.

Finding: The request is to reconstruct the side stairs and porch. A west entrance is referenced in the historic information but there is no existing information on the original stairs and porch. The proposed alterations are significant and require review by the Historic Landmarks Commission.

- C. Section 6.050(D) requires that the following standards shall be used to review exterior alteration requests. The standards summarized below involve the balancing of competing and conflicting interests. The standards are not intended to be an exclusive list, but are to be used as a guide in the Historic Landmark Commission's deliberations.

1. Section 6.050(D)(1) states that every reasonable effort shall be made to provide a compatible use for a property which requires minimal alteration of the building, structure, or site and its environment, or to use a property for its originally intended purpose.

Finding: The structure was originally built as a single family residence and the applicant will continue the use as a single family residence.

2. Section 6.050(D)(2) states that the distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.

Finding: The applicant proposes to replace the porch in disrepair and expand it to enhance the house. No historic or distinctive architectural features are proposed to be removed.



Current condition of staircase and porch



Side porch as seen from front of the house

No historic material would be removed. The proposed construction would not destroy the distinguishing qualities of the structure.

3. Section 6.050(D)(3) states that all buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.

Finding: No alterations are proposed to create an earlier appearance. The front porch is the only porch mentioned in historic documentation.

4. Section 6.050(D)(4) states that changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.

Finding: The proposed alterations do not affect changes that may have acquired historic significance. The stairs and landing existed when the applicant purchased the home and were in poor quality which did not enhance the property.

5. Section 6.050(D)(5) states that distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.

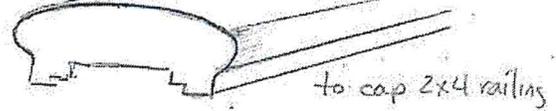
Finding: The distinctive stylistic features and examples of skilled craftsmanship that characterize the building will be treated with sensitivity. The proposed stairs and decking would be made of cedar. The railing would be wood and painted to match the house's trim. The balustrade design would have pyramid shaped caps.



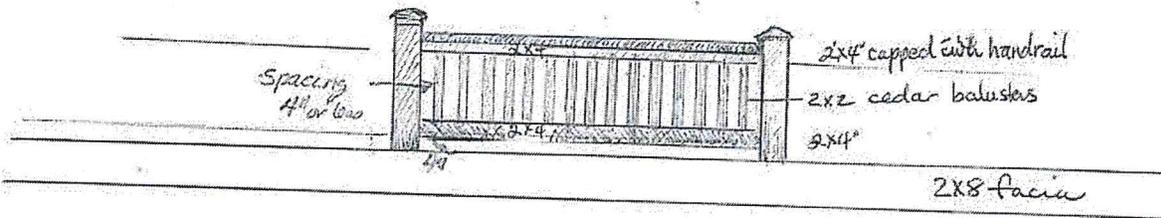
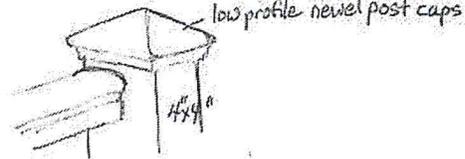
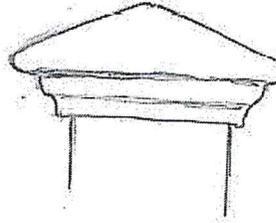
Example of covered balustrades

Western Red Cedar clear  
painted trim color

handrail



Details of railing spacing,  
low profile 4" x 4" newel  
post caps and handrail  
design



The porch decking would be 2x6 cedar decking, with 2x8 cedar fascia board, 2x6 cedar banisters and handrails with 4x4 newel posts.

6. Section 6.050(D)(6) states that deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.

Finding: The applicant does propose to repair or replace missing features which are newer. The proposed design is similar to other structures of this style and would use cedar wood and contemporary materials. Railings and posts would be painted to match the house trim. Any visible wood shall be free of pressure treatment incision marks.

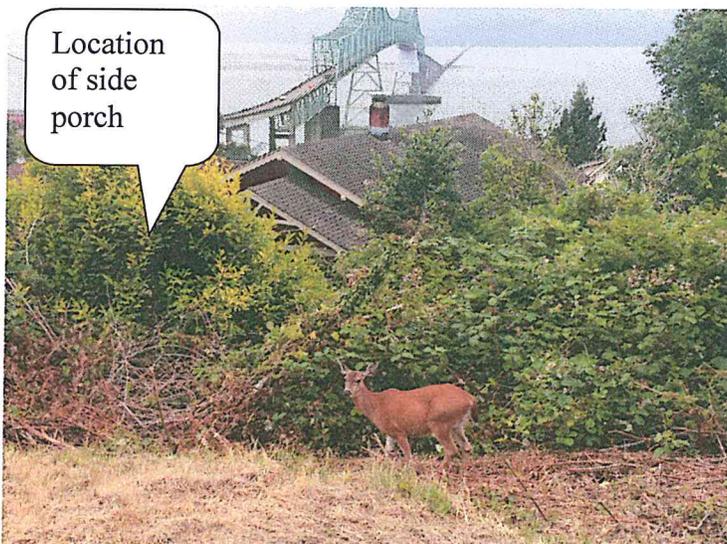
7. Section 6.050(D)(7) states that the surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.

Finding: No surface cleaning is proposed.

8. Section 6.050(D)(8) states that every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.

Finding: Archaeological resources, if any, will not be affected.

9. Section 6.050(D)(9) states that contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and addition do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood or environment.



Finding: The design is complementary to the historic character and the materials are western red cedar wood. The balustrade design is typical of stairs and railings found on Bungalow style buildings. Any visible wood shall be free of pressure treatment incision marks and shall be painted to match the house or trim. The size and scale of the porch will better match the scale of the house. In addition, the side porch and stairs are not visible from W. Grand Avenue. The house is tucked away below Grand Ave. This particular exterior alteration would not be highly visible from the rest of the

neighborhood or environment.

10. Section 6.050(D)(10) states that wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

Finding: The proposed alterations could be removed in the future and the essential form and integrity of the structure would be preserved.

## V. CONCLUSION AND RECOMMENDATION

The request meets the applicable review criteria. Staff recommends approval of the request based on the Findings of Fact above with the following conditions:

1. Significant changes or modifications to the proposed plans as described in this Staff Report shall be reviewed by the Historic Landmarks Commission.
2. The support structures shall be within the balustrade and the connections shall not be visible.
3. The balustrade rails shall end at a newel post and not extend beyond.
4. All visible wood shall be free of pressure treatment incision marks.

The applicant should be aware of the following requirements:

The applicant shall obtain all necessary City and building permits prior to the start of construction.



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**COMMUNITY DEVELOPMENT**

EX 16-06

5-13-16  
 Paid NF Check  
 FEE: \$100.00

**EXTERIOR ALTERATION FOR HISTORIC PROPERTY**

Property Address: 136 W. Grand Ave

Lot 12, 13 Block 3 Subdivision Robbs

Map 7DC Tax Lot 6900 Zone R-1

**For office use only:**

Classification:	Inventory Area: <u>Umuntonna (Namoda) NRHS</u>
-----------------	--

Applicant Name: Gail Duncan

Mailing Address: 136 W. Grand Ave

Phone: 503-440-6003 Business Phone: \_\_\_\_\_ Email: gaildun@gmail.com

Property Owner's Name: Gail Duncan

Mailing Address: same

Business Name (if applicable): \_\_\_\_\_

Signature of Applicant: [Signature]

Signature of Property Owner: [Signature]

Existing Construction and Proposed Alterations: stairs and small landing that doesn't enhance historic structure. A deck using clear cedar  
Expand + remodel existing side deck porch and stairs on existing single family dwelling

<b>For office use only:</b>		<u>9:30 next week tentative pre-app ✓ no pre-app concerns</u>	
Application Complete:	<u>5/24/16</u>	Permit Info Into D-Base:	<u>5/25/16</u>
Labels Prepared:	<u>5/23/16</u>	Tentative HLC Meeting Date:	<u>6/2/16</u>
120 Days:	<u>7/21/16</u>		

Design okay by Jack  
 5/16 - Permits  
 permits subm. held

**FILING INFORMATION:** Historic Landmarks Commission meets at 5:15 pm on the third Tuesday of each month. Complete applications must be received by the 13th of the month to be on the next month's agenda. A pre-application meeting with the Planner is required prior to the acceptance of the application as complete. **Only complete applications will be scheduled on the agenda.** Your attendance at the Historic Landmarks Commission meeting is recommended.

Briefly address each of the Exterior Alteration Criteria and state why this request should be approved. (Use additional sheets if necessary.):

1. Every reasonable effort shall be made to provide a compatible use for a property which requires minimal alteration of the building, structure, or site and its environment, or to use a property for its originally intended purpose.

I am not altering the existing structure except to replace stairs and landing to the back door with a deck that would enhance the house and environment

2. The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.

No historic material would be removed or altered

3. All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.

this will not be done

4. Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.

The stairs and landing that existed when I bought it are made with poor quality wood and simple design which does not enhance the property

5. Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.

None of the existing features will be altered

6. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.

The stairs and landing are not architectural features, they will be replaced with quality materials and with a design in keeping with the bungalow features of the house

7. The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.

No cleaning is needed at this time

8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.

This proposed deck is on the side of the house, by building it to extend to the back door I can keep the original windows in place

9. Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and addition do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood or environment.

The deck design is compatible w/ the property and environment - cedar

10. Wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

The deck will not impair the integrity of the house

**PLANS: A site plan indicating location of structure on the property and the location of the proposed alterations is required. Diagrams showing the proposed alterations indicating style and type of materials proposed to be used. Scaled free-hand drawings are acceptable. The City may be able to provide some historic technical assistance on your proposal.**

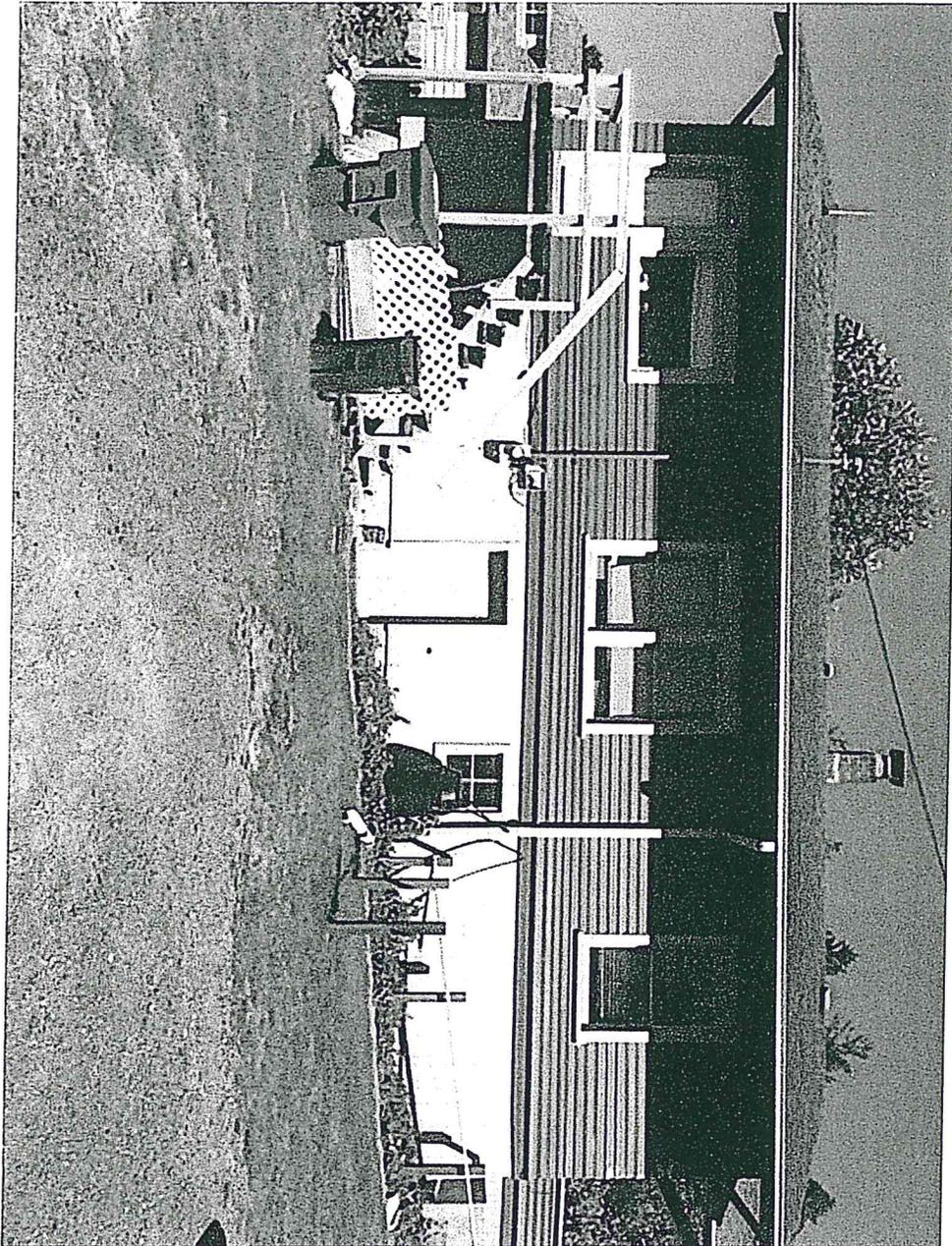
\* addtl support posts shall be in line w/ balusters

\* wrap posts?  
if lattice ⇒ framed

CITY OF ASTORIA

MAY 13 REC'D

BUILDING CODES



CITY OF ASTORIA

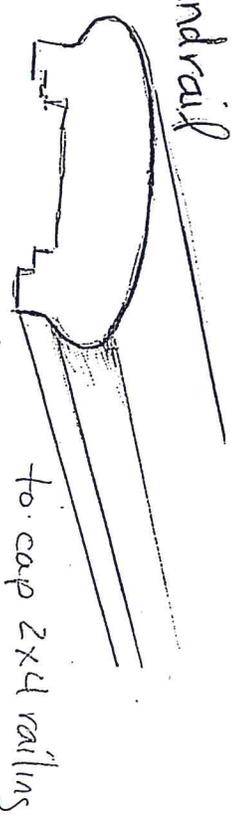
MAY 13 REC'D

BUILDING CODES

2025

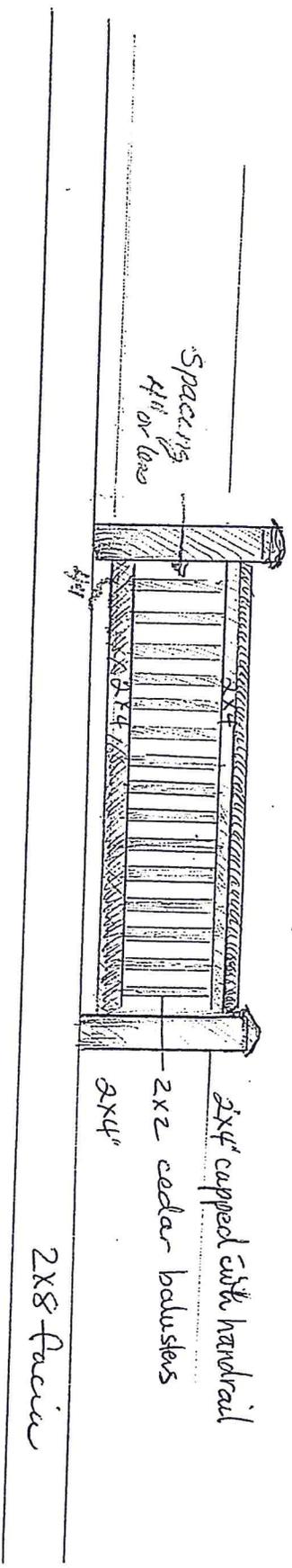
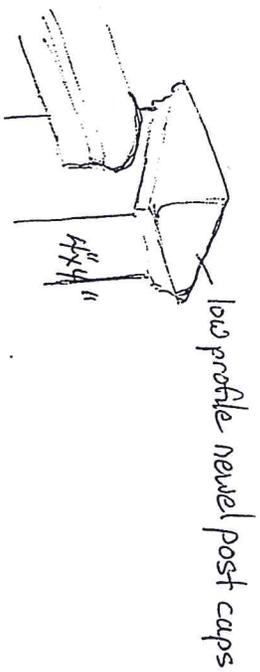
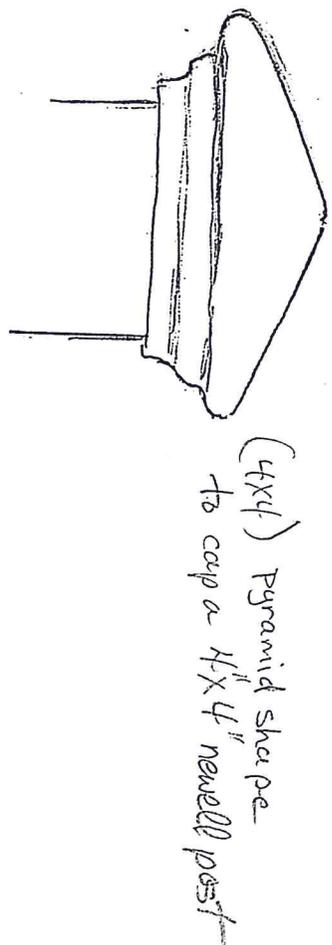
Western Red Cedar clear  
painted trim color

handrail



CITY OF ASTORIA  
MAY: 24 RECD

BUILDING CODES



GAIL Duncan  
136 W. Grand Ave



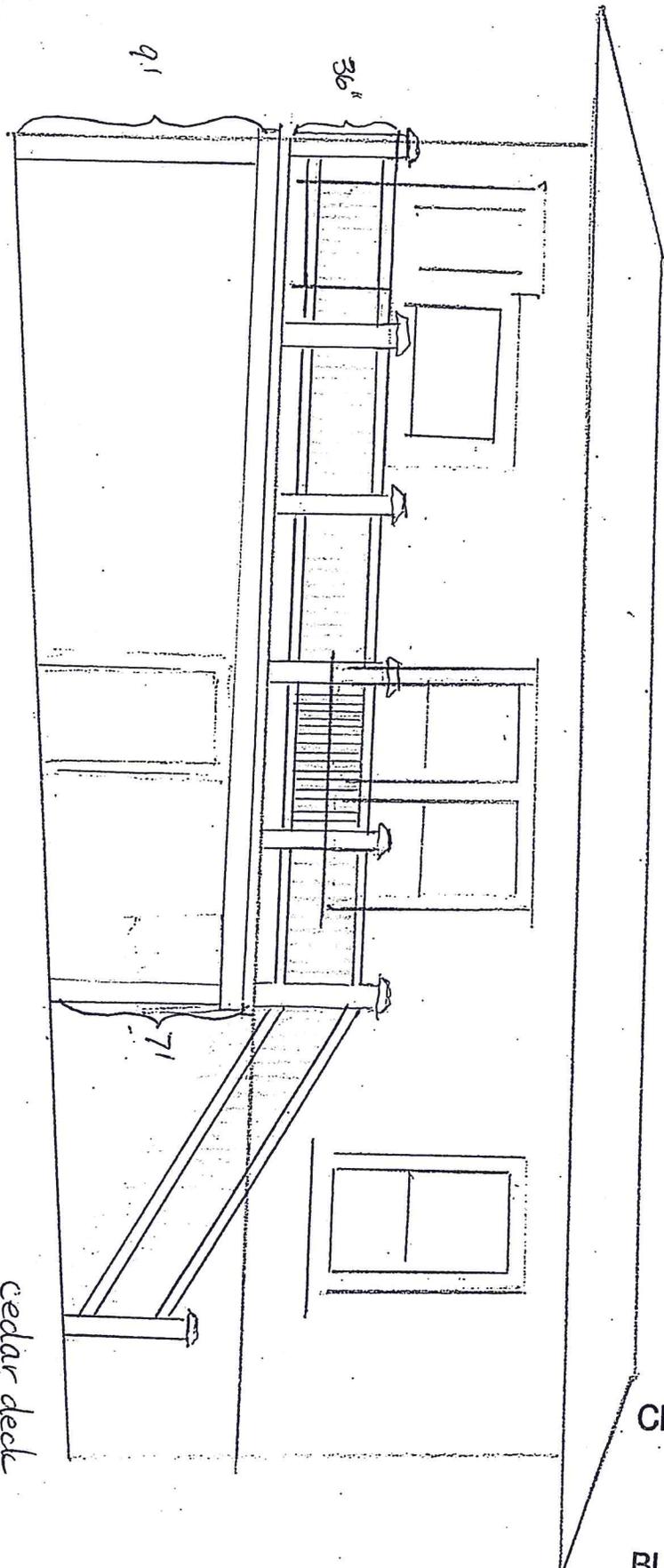
Page 1

28' x 10'

9'

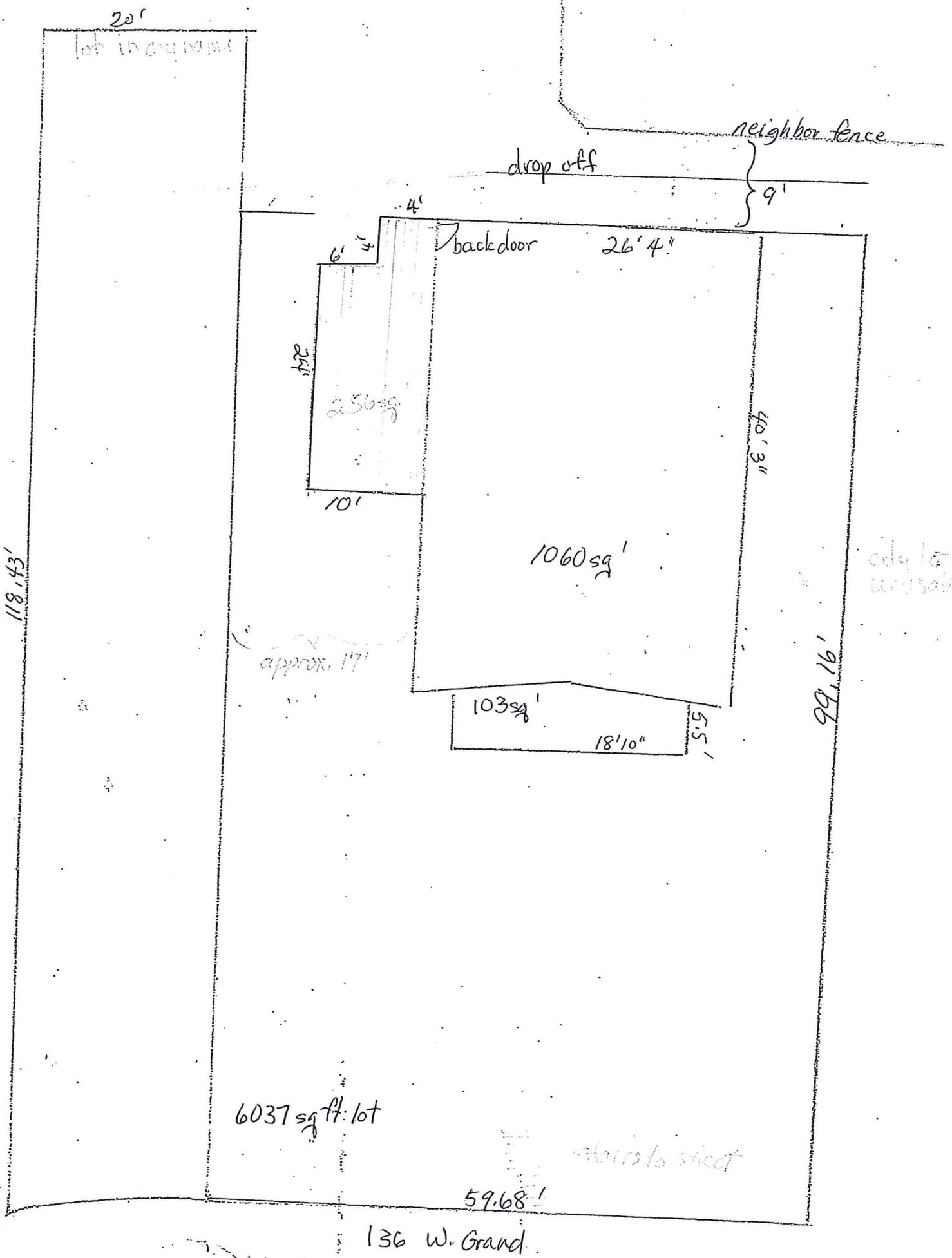
36"

7'



cedar deck  
 28' long to encompass  
 kitchen windows  
 10' wide  
 except for 4' x 4'  
 (landing) at door  
 due to drop off of  
 back property

CITY OF ASTORIA  
 MAY 13 REC'D  
 BUILDING CODES



20'  
lot in my name

neighbor fence  
drop off } 9'

back door 26' 4"

190  
256 sq  
10'

1060 sq'

40' 3"

city lot unusable

approx. 17'

103 sq'

18' 10"

5.5'

99.16'

6037 sq ft lot

stairs to street

59.68'

136 W. Grand

118.43'

**STAFF REPORT AND FINDINGS OF FACT**

June 16, 2016

TO: HISTORIC LANDMARKS COMMISSION

FROM: NANCY FERBER, PLANNER *Nancy Ferber*

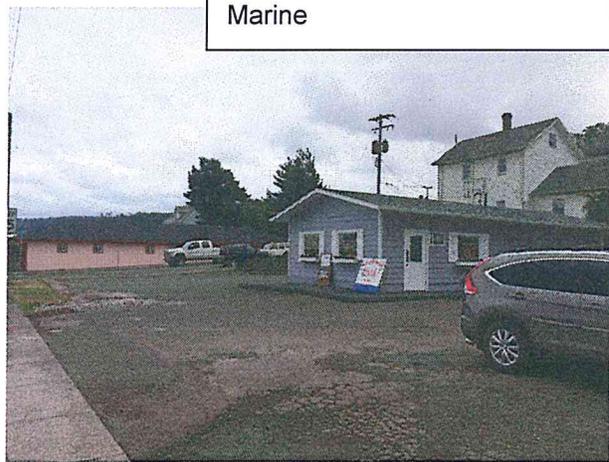
SUBJECT: NEW CONSTRUCTION REQUEST (NC16-02) BY CLYDENE PAUL TO INSTALL A 10' WIDE 12' LONG 8'2" HIGH TUFF SHED AT 397 MARINE DRIVE

**I. BACKGROUND SUMMARY**

- A. Applicant: Clydene Paul  
397 Marine Drive  
Astoria OR 97103
- B. Owner: Clydene and William Paul  
397 Marine Drive  
Astoria OR 97103
- C. Location: 397 Marine Drive; Map T8N R9W Section 7DA, Tax Lot 2900; Lot 4, Block 14, McClure's
- D. Classification: Historic Non-Contributing McClure National Register Historic District, adjacent to contributing home
- E. Proposal: To install a 10' wide x 12' long x 8'2" high "Tuff Shed" located on the rear corner of the property
- F. Zone: C-3 (General Commercial)

G. Previous Applications: Building permits approved for remodeling for a new truss roof system and residing in March 2016. Conditional Use Permit February 1987 approved for operating "Business Offices" for what was then a C-2 zone.

Current Conditions at 397 Marine



## II. BACKGROUND

Sunset Presort Mailing and Shipping Services is currently located in the single story existing structure at the site at 397 Marine Drive. The building is approximately 1,200 square feet, and is situated on a 9,500 square foot lot. There are two driveway entrances, one off 4<sup>th</sup> street and one off Marine Drive. The lot abuts R-3 zoning directly south of the property, where there is one historic home. The existing structure at 397 Marine is not part of a historic district or designated historic.

### B. Adjacent Neighborhood and Historic Property

The property at 397 Marine is situated at the edge of the C-3 zone and R-3 residential area south of the site. The residential neighborhood is a mixture of single-family and multi-family dwellings. Lot sizes and setbacks vary creating an irregular streetscape with most buildings close to one or more of the property lines.



Adjacent Historic Property

1. **364 Bond:**

Primary contributing Italianate style single family dwelling. Built in 1888, recent alterations have included the porch railing and wooden steps. The home is a two-story wood frame building with basement. Primary windows are four over four double hung with wood sash, gable roof with composition shingles and projecting brick chimney. The house has prominent two-story bay windows on the north elevation, exterior is clapboard wood siding.



364 Bond  
View from  
Bond Street



Proposed site  
for shed

364 Bond  
View from  
Marine Drive

### III. PUBLIC REVIEW AND COMMENT

A public notice was mailed to all property owners within 100 feet pursuant to Section 9.020 on May 27, 2016. A notice of public hearing was published in the *Daily Astorian* on June 14, 2016. Comments received will be made available at the Historic Landmarks Commission meeting.

### IV. APPLICABLE REVIEW CRITERIA AND FINDINGS OF FACT

- A. Development Code Section 6.070(A) states that “no person, corporation, or other entity shall construct a new structure adjacent to or across a public right-of-way from a Historic Landmark or a structure identified as Primary or Secondary, without first obtaining a Certificate of Appropriateness from the Historic Landmarks Commission.”

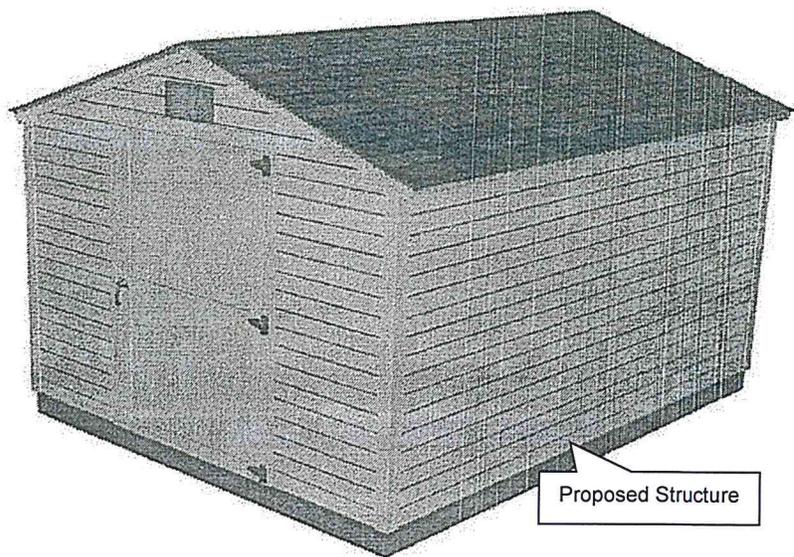
Finding: The structure is proposed to be located adjacent to structure(s) designated as historic in the McClure National Register Historic District. The proposed structure shall be reviewed by the Historic Landmarks Commission.

- B. Development Code Section 6.070(B.1) states that “In reviewing the request, the Historic Landmarks Commission shall consider and weigh the following criteria: The design of the proposed structure is compatible with the design of adjacent historic structures considering scale, style, height, architectural detail and materials.”

Finding: The proposed structure would be a prefabricated 10’ wide x 12’ long x 8’2” high with one door opening that will be facing east. The shed will have wood siding.

The adjacent historic home, triggering HLC review of this application, is an Italianate style home. The house is situated above this site, up the hill towards Bond Street.

The shed will reflect compatibility with the design of the historic property at



364 bond through incorporating a front gabled composite roof, and wood siding. The historic house has a porch with square wood columns with decorative scroll cut brackets. It would be inappropriate to reflect such detailed ornamentation on a simple shed. The shed reflects the design of the main structure at the site and maintains compatibility with the historic home based on its use of similar materials.

The proposed structure would be in scale with the surrounding building; the structure (120 square feet), in addition to the existing building's 1,200 square footprint, would take up less than 14% of the lot coverage. Buildings in the C-3 zone cannot cover more than 90% of the lot area.

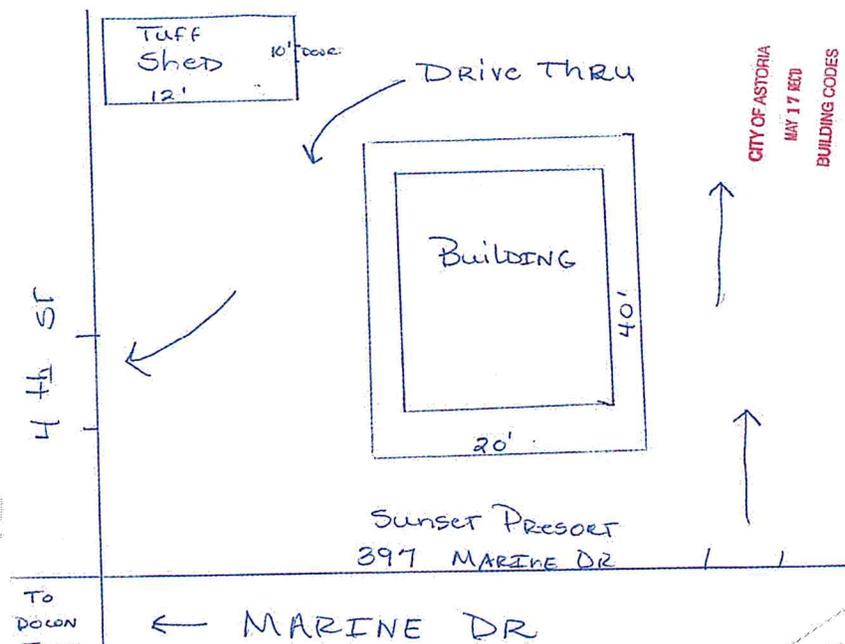
At its highest point, the roof is 8'2" tall. The shed will be tucked in the back southeast corner of the property and likely not highly visible when viewing down from Bond Street. It is in the best possible location on the lot to allow for traffic to flow around the drive-through business. The location provides the access the owners needs to the shed and low visibility from the street front. The proposed structure is not in competition in scale, style, height and architectural detail with the existing historic house. It is compatible for the site.

- C. Development Code Section 6.070 (B.2) states that "In reviewing the request, the Historic Landmarks Commission shall consider and weigh the following criteria: The location and orientation of the new structure on the site is consistent with the typical location and orientation of adjacent structures considering setbacks, distances between structures, location of entrances and similar siting considerations."

Finding: The lot is a rectangular shape. Positioning a shed on the side area of the lot is not unusual.

While the structure does not require a building permit, it does need to meet building code setbacks. There are no zoning code setbacks for the C-3 zone. Per building standards, the shed shall be situated 10' from the back property and 10' from the middle of the right measured from 4<sup>th</sup> street.

Alternatively, the



applicant could place the shed within the setback provided they install two layers of fire-rated 5/8 type X sheet rock to adhere to building code requirements.

The proposed location allows access to the door of the shed on the west side of the structure.

Any changes in the location, size or style of the shed shall be reviewed and approved by Community Development Department and may require building permits if the square footage is more than 120 square feet.

In balance, the location and orientation of the new structure on the site is consistent with the typical location and orientation of adjacent structures considering setbacks, distances between structures and location of entrances.

## **V. CONCLUSION AND RECOMMENDATION**

The request, in balance, meets the applicable review criteria. Staff recommends approval of the request. The applicant has been working with staff to improve landscaping and signage. Staff recommends the applicant submit a landscaping plan for review for vision clearance as well as sign permits for any additional proposed signage. Staff approves this new construction request with the following conditions:

1. Significant changes or modifications to the proposed plans as described in this Staff Report shall be reviewed by the Historic Landmarks Commission.
2. The shed shall be placed at a 10' setback from the south property line, or the applicant shall install 2 layers of fire-rated 5/8 type X sheet rock to adhere to building code requirements.

The applicant should be aware of the following requirements:

The applicant shall obtain all necessary City and building permits prior to the start of construction.



**CITY OF ASTORIA**  
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**COMMUNITY DEVELOPMENT**

NC 16-02

FEE: \$100.00 paid 5/17/16 NF

**NEW CONSTRUCTION (ADJACENT TO HISTORIC PROPERTY)**

Property Location: Address: 397 MARINE DR

Lot ~~2100~~ 4 Block 14 Subdivision McClures

Map FDA Tax Lot 2900 Zone E-3  
NO setbacks

<b>For office use only:</b>	
Adjacent Property Address:	
Classification:	Inventory Area:

Applicant Name: Clydene Paul (Sunset Presort)  
 Mailing Address: 397 marine Dr Astoria Or 97103  
 Phone: - Business Phone: 503-325-0381 Email: SUNSET PRESORT@hotmail.com  
 Property Owner's Name: William & Clydene Paul (all caps)  
 Mailing Address: 397 marine Dr Astoria Or 97103  
 Business Name (if applicable): SUNSET PRESORT  
 Signature of Applicant: Clydene Paul  
 Signature of Property Owner: Clydene Paul

Proposed Construction: <sup>to date</sup> Tuff Shed on back area of property near retaining wall, adjacent to historic properties

<b>For office use only:</b> Pre-app scheduled 5/25 9:45 AM			
Application Complete:		Permit Info Into D-Base:	<u>5/23/16</u>
Labels Prepared:	<u>5/23/16</u>	Tentative HLC Meeting Date:	<u>HLC July? June 21 2016</u>
120 Days:			

**FILING INFORMATION:** Historic Landmarks Commission meets at 5:15 pm on the third Tuesday of each month. Completed applications must be received by the 13th of the month to be on the next month's agenda. A pre-application meeting with the Planner is required prior to the acceptance of the application as complete. Only complete applications will be scheduled on the agenda. Your attendance at the Historic Landmarks Commission meeting is recommended. Forms also available on City website at [www.astoria.or.us](http://www.astoria.or.us).

Briefly address each of the New Construction Criteria and state why this request should be approved. (Use additional sheets if necessary.):

1. The design of the proposed structure is compatible with the design of adjacent historic structures considering scale, style, height, architectural detail and materials.

New construction: Neat & Clean lines - matches  
our new Remodel, Wood siding

2. The location and orientation of the new structure on the site is consistent with the typical location and orientation of adjacent structures considering setbacks, distances between structures, location of entrances and similar siting considerations.

Back corner of East side of lot

**PLANS:** A site plan indicating location of the proposed structure on the property is required. Diagrams showing the proposed construction indicating style and type of materials proposed to be used. Scaled free-hand drawings are acceptable. The City may be able to provide some historic technical assistance on your proposal.

See Attached

CITY OF ASTORIA

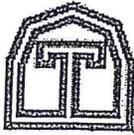
MAY 17 REC'D

BUILDING CODES

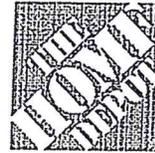
CITY OF ASTORIA

MAY 25 REC'D

BUILDING CODES



# TUFF SHED®



[See  
Order  
Details](#)



Your Store: **Warrenton, OR #4023**  
📍 [Use Current Location or find store \(\)](#)

[Shed Configuration & Options \(\)](#)

[Order Review \(\)](#)

[Payment & Billing \(\)](#)

Sundance SR-600 - 10' wide by 12' long by 8'2" high

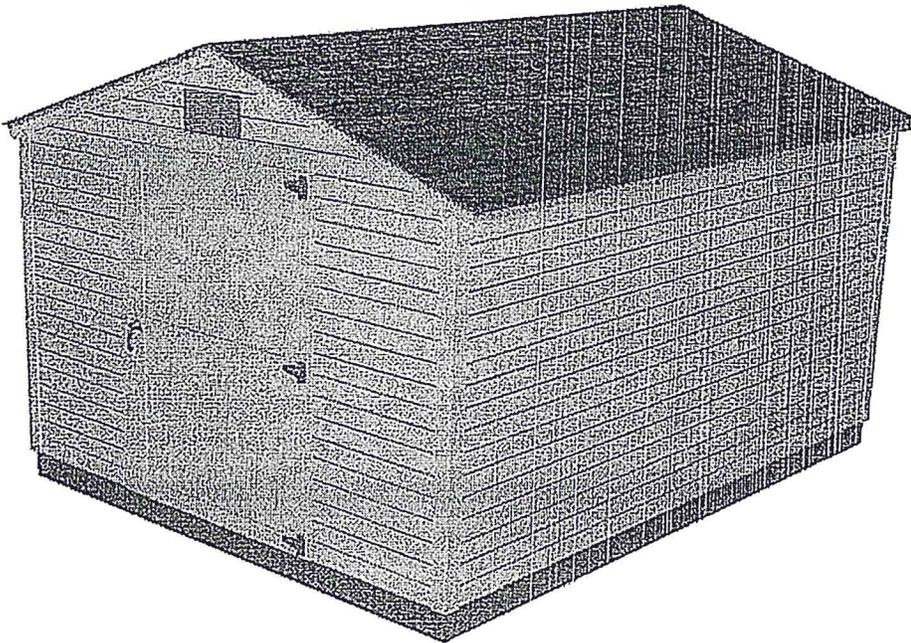
Model: Sundance SR-600

Size: 10 ft x 12 ft

Base Price: \$2,459.00

Promotional Savings: () -\$245.90

**Total: \$2,980.10**



*Will be  
painted to  
match  
existing  
building*

[Clear Selection](#)

[Google Street View](#)

[Select Features](#)

[Search City Addresses](#)

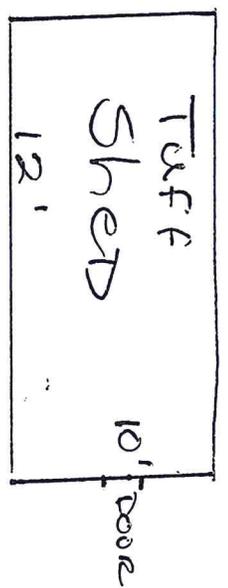
[Search City Parcels](#)



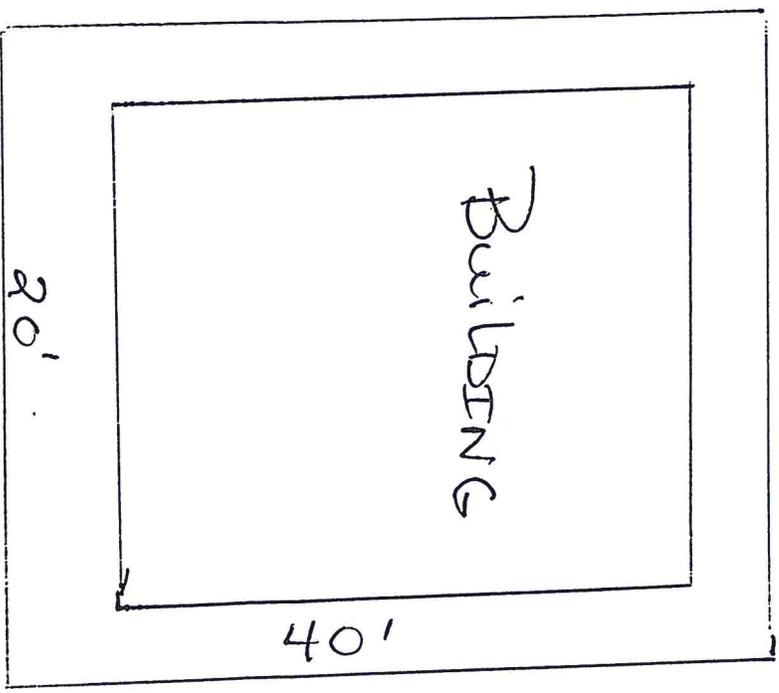
• Will be restriping parking

To  
Down  
Town

4<sup>th</sup> St



Drive Thru



Sunset Presort  
391 MARINE DR

← MARINE DR



CITY OF ASTORIA  
MAY 17 REC'D  
BUILDING CODES

## STAFF REPORT AND FINDINGS OF FACT

June 16, 2016

TO: HISTORIC LANDMARKS COMMISSION

FROM: NANCY FERBER, PLANNER

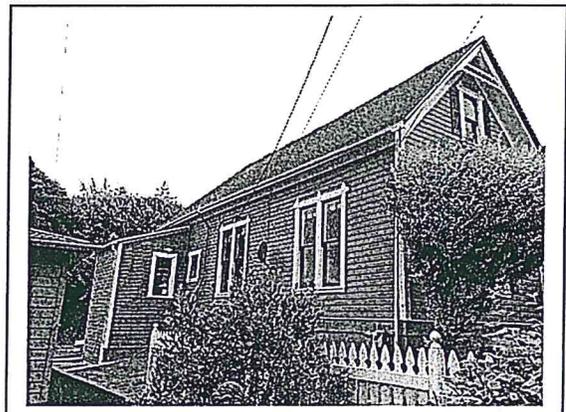
SUBJECT: EXTERIOR ALTERATION REQUEST (EX16-04) BY TIM BRIZENDINE FOR  
435 EXCHANGE ST

### I. BACKGROUND SUMMARY

- A. Applicant: Tim Brizendine and Emily Flaming (Brizendine)  
435 Exchange Street  
Astoria, OR 97103
- B. Owner: Paul Dalton and Lillian Blaine  
435 Exchange Street  
Astoria, OR 97103
- C. Location: 435 Exchange Street; Map T8N R9W Section 7DD, Tax Lot 2900  
Lot 2, Block 51 McClure's, Zoned R-2
- D. Classification: Primary Contributing
- E. Proposal: To construct two new dormers on the west elevation; add two clad windows on the west; replace existing front door facing the east elevation, and add two skylights on the south roof and west roof of an existing single-family dwelling at 435 Exchange.
- F. Previous Applications: Permits for a gas line furnace and water heater were approved in 1998, application for home occupation was approved in 2000.

### II. BACKGROUND

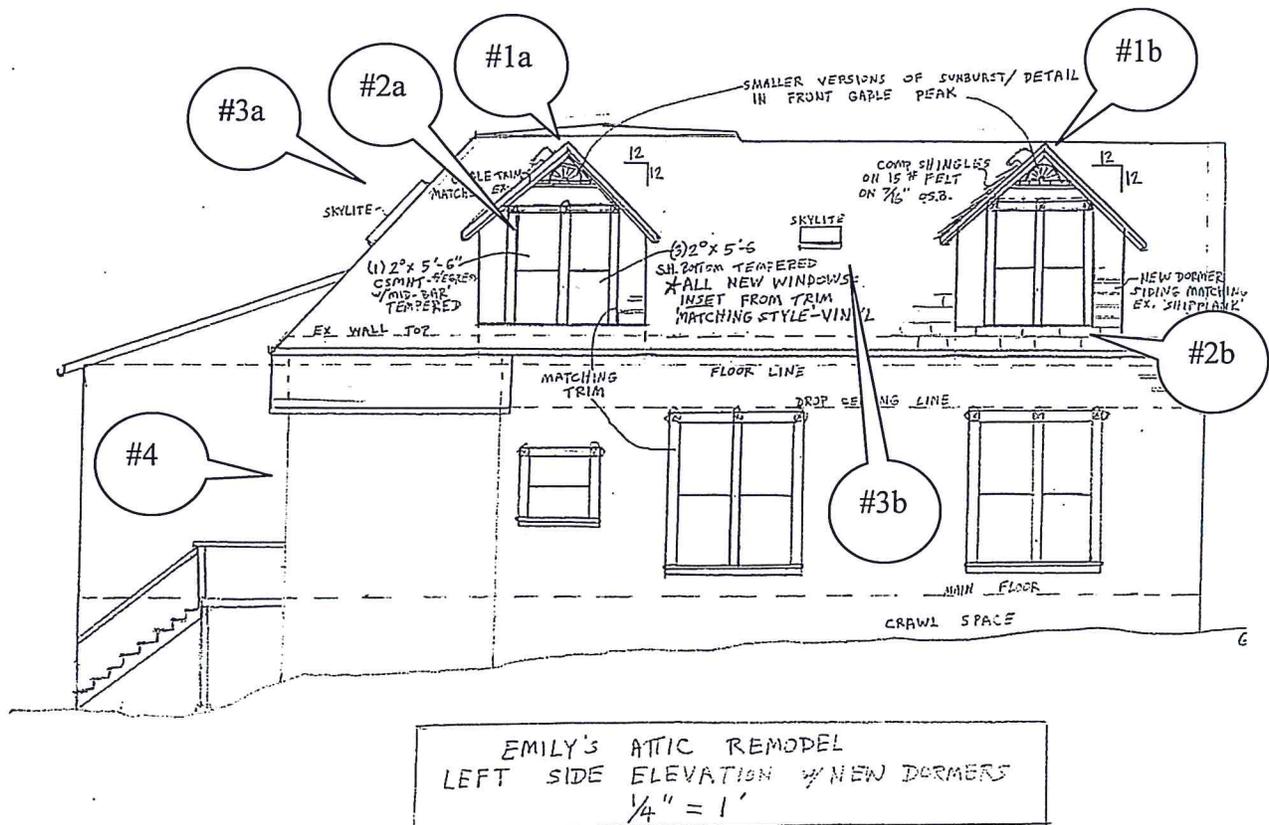
The Stick Style residence was constructed in ca. 1895 as a single family dwelling. It is one and one-half stories in a "L" shaped layout. The roof is a combination of truncated hip and gables, with wood shingles. Primary windows are one over one double hung with strapping trim and decorative hoods. The siding is



beveled wood horizontal siding, and the exterior has decorative finishes including sunburst cutouts at the gable end peak. The entrance porch has been enclosed with a compatible half hip roof.

Proposed Alterations: Convert the attic space to a finished, two bedroom, 1.5 bath living area. This includes:

1. Addition of two 8' wide dormers
2. Addition of two wood clad windows
3. Installation of two skylights
4. Replacing the existing exterior glass door at the front of house with a new wood ornamental door.



### III. PUBLIC REVIEW AND COMMENT

A public notice was mailed to all property owners within 100 feet pursuant to Section 9.020 on May 27, 2016. A notice of public hearing was published in the *Daily Astorian* on June 14, 2016. Any comments received will be made available at the Historic Landmarks Commission meeting.

#### IV. APPLICABLE REVIEW CRITERIA AND FINDINGS OF FACT

- A. Section 6.050(B) requires that unless otherwise exempted, no person, corporation, or other entity shall change, add to, or modify a structure or site in such a way as to affect its exterior appearance, if such structure is listed or identified as a Historic Landmark or as Primary or Secondary without first obtaining a Certificate of Appropriateness.

Finding: The structure is listed as a Primary in Robbs Addition and requires review by the HLC.

- B. Section 6.050(C) states that the Historic Preservation Officer shall approve an exterior alteration request if:
1. There is no change in historic character, appearance or material composition from the existing structure or feature; or
  2. If the proposed alteration duplicates the affected building features as determined from a photograph taken during either the Primary or Secondary development periods, or other evidence of original building features; or
  3. If the proposed alteration is required for the public safety due to an unsafe or dangerous condition.
  4. If the proposed alteration relates to signage in scale to the architectural style of the building.

Finding: The request is to change doors, add skylights, add dormers and install new windows. The proposed alterations are significant and require review by the Historic Landmarks Commission.

- C. Section 6.050(D) requires that the following standards shall be used to review exterior alteration requests. The standards summarized below involve the balancing of competing and conflicting interests. The standards are not intended to be an exclusive list, but are to be used as a guide in the Historic Landmark Commission's deliberations.
1. Section 6.050(D)(1) states that every reasonable effort shall be made to provide a compatible use for a property which requires minimal alteration of the building, structure, or site and its environment, or to use a property for its originally intended purpose.

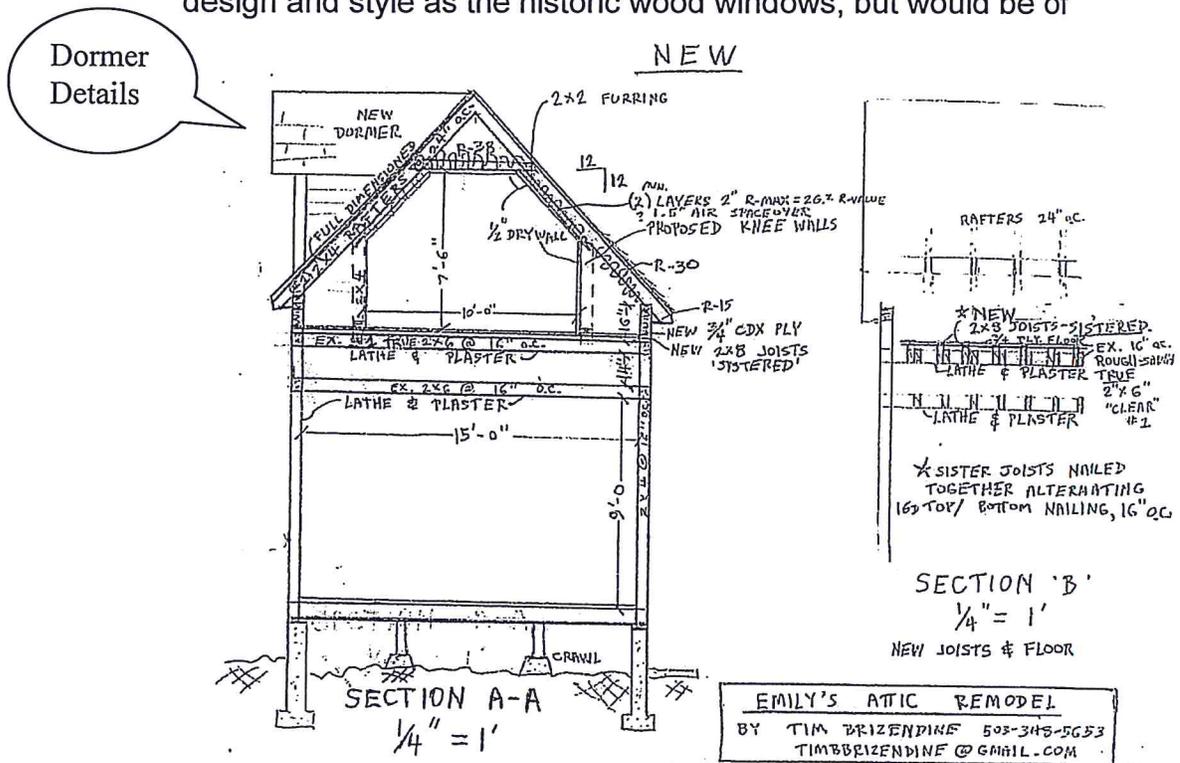
Finding: The structure was originally built as a single-family residence and the applicant will continue the use as a single-family residence.

- Section 6.050(D)(2) states that the distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.

**Finding:** The applicant proposes to install two 8' long dormers on the east elevation. No structural features are proposed for removal. The addition will include detailed ornamentations to mimic the distinctive architectural features of the existing structure. No features are proposed for removal.

Non-historic vinyl-clad windows are proposed for installation in the dormers; this is not a primary elevation, and will be facing eastward. All windows would be trimmed to match the historic trim.

In order to gain living space and additional natural light into the attic, the applicant proposes to add the two dormers on the east elevation in addition to a skylight between the dormers and a skylight on the south elevation. The dormers would have one over one windows of similar design and style as the historic wood windows, but would be of



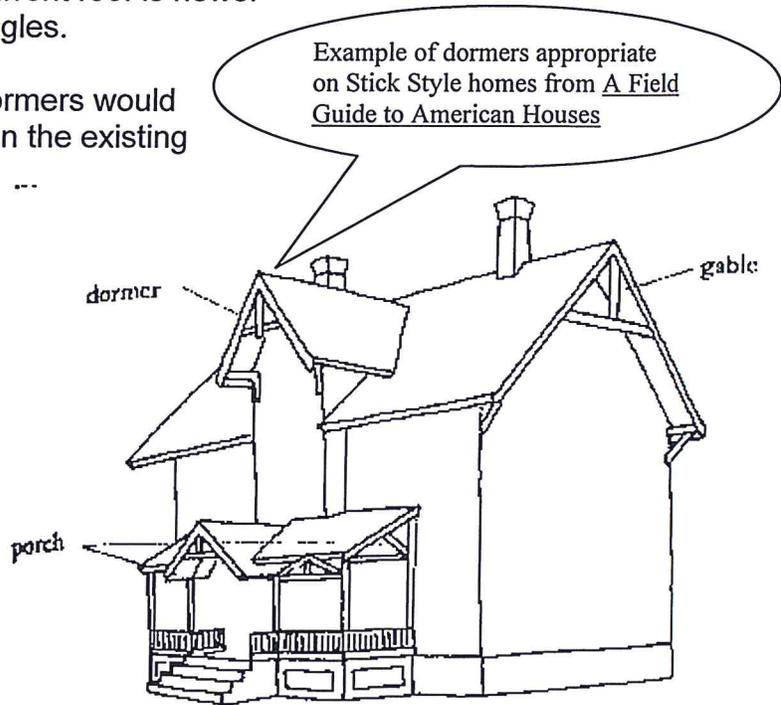
fiberglass clad wood by Milgard Windows. The Stick style reflects the style of other buildings in the area. The use of dormers is consistent with this neighborhood. The skylight is a contemporary addition but would be flat and not be on a primary elevation or highly visible from the street.

No historic material is proposed to be removed for the skylights, or the dormer as the current roof is newer composition shingles.

The proposed dormers would not be higher than the existing roof ridge. Construction would not destroy the distinguishing qualities of the structure.

3. Section 6.050(D)(3) states that all buildings, structures, and sites shall be recognized as products of

their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.



Finding: No alterations are proposed to create an earlier appearance.

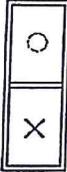
4. Section 6.050(D)(4) states that changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.

Finding: The proposed alterations do not affect changes that may have acquired historic significance.

5. Section 6.050(D)(5) states that distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.

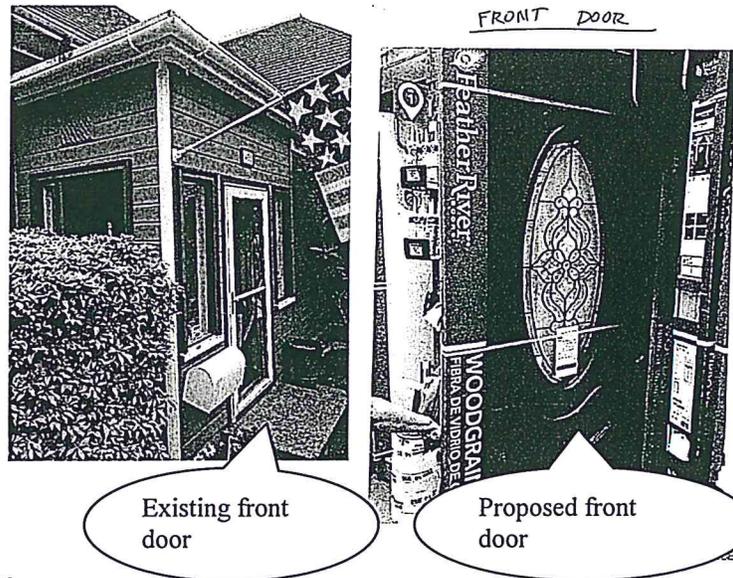
Finding: The distinctive stylistic features and examples of skilled craftsmanship that characterize the building will be treated with sensitivity. The proposed detailing around the windows shall be painted to match the house.

Windows will be installed in each dormer. The original elevations showed vinyl windows, the applicant has since proposed more appropriate wood clad windows: since the windows are an addition and not replacing any historic features, the use of contemporary materials would be acceptable.

<b>Manufacturer:</b> Milgard	
<b>Item:</b> 0001	<b>Location:</b>
<b>Quantity:</b> 1	WoodClad, B210, SH, RO 24" x 66", UF: 0.3, SGC: 0.29, VLT: 0.55 Northern Energy Package Discount Gas Filled Argon
	<p>Clear Opening W: 21 5/16" H: 29 1/8" SQ: 4.31          Fin Placement: 1 3/8" Setback; Horizontal Vent Set: 33"; Vent Height: One Half; Exterior Finish: Frost; Interior Finish: Unfinished Vertical Grain Douglas Fir; Energy Package: Northern; Glazing: Dual Glazed (Insulated Glass); Outer Glass Lite Option: SunCoat Low-E; Inner Glass Lite Option: Clear; Glass Thick 1: 1/8"; Glass Thick 2: 1/8"; Spacer Type: EdgeGardMAX; Gas Filled: Argon; Lock Type: Positive Action Lock; Hardware Finish: Clay; Screen: Standard with Fiberglass mesh; STC: 28          CPD: MIL-A-157-01862-00001</p>

The addition of contemporary skylights will not alter any distinctive historic features.

6. Section 6.050(D)(6) states that deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the



availability of different architectural elements from other buildings or structures.

Finding: No deteriorating features have been proposed for replacement or repair. The proposal to replace the existing glass front door does not

substantially alter the historic features, the original door itself was not mentioned in any historical documentation. The new front door is wood and is intended to match the house. It's unusual to see an ornamental window in a door from this period and vernacular. However, the size of the window is not a predominant feature of the door. The two windows flanking the entrance are of historical importance, they shall not be removed or altered.

- Section 6.050(D)(7) states that the surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.

Finding: No surface cleaning is proposed.

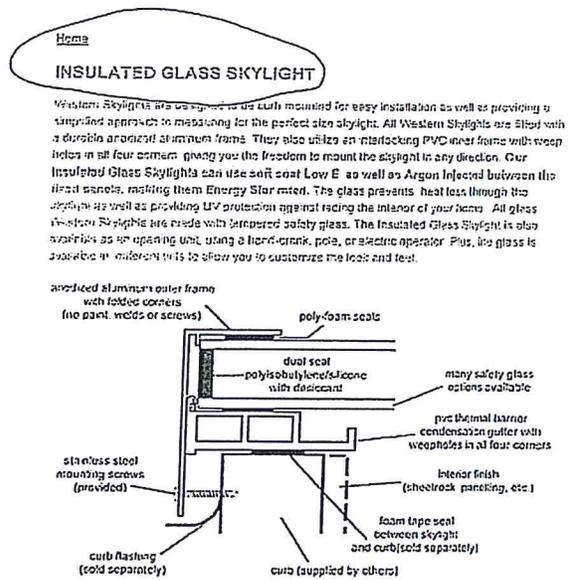
- Section 6.050(D)(8) states that every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.

Finding: Archaeological resources, if any, will not be affected.

- Section 6.050(D)(9) states that contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and addition do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood or environment.

Finding: The design is historic and the materials are a mixture of wood and contemporary clad wood.

The addition of the skylights will not destroy the historic architecture of the roof. The proposed skylights are



anodized aluminum, and should be in a neutral or dark color to blend in with the roof. The proposed skylights are 22.5" x 22.5" and 22.5 x 46.5" and less than 3" high. They are compatible in size, scale, color and material with the conditions noted.

10. Section 6.050(D)(10) states that wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

Finding: The proposed alterations could be removed in the future and the essential form and integrity of the structure would be preserved.

## V. CONCLUSION AND RECOMMENDATION

The request meets the applicable review criteria. Staff recommends approval of the request based on the Findings of Fact above with the following conditions:

1. Significant changes or modifications to the proposed plans as described in this Staff Report shall be reviewed by the Historic Landmarks Commission.
2. All visible wood shall be free of pressure treatment incision marks.
3. Windows shall be installed to the historic depth from the façade of the building.
4. All visible wood and ornamentation shall be painted to match the house.
5. The proposed skylights are anodized aluminum, and shall be in a neutral or dark color to blend in with the roof.

The applicant should be aware of the following requirements:

The applicant shall obtain all necessary City and building permits prior to the start of construction.



CITY OF ASTORIA  
 Founded 1811 • Incorporated 1856  
 COMMUNITY DEVELOPMENT

EX 16-04

Paid No  
 FEE: \$100.00

**EXTERIOR ALTERATION FOR HISTORIC PROPERTY**

Property Address: 435 Exchange St. Astoria, OR 97103  
 Lot 2 Block 51 Subdivision McClures  
 Map FDD Tax Lot 2900 Zone R-2

**For office use only:**  
 Classification: Primary/Contributing Inventory Area: Hobson-Flavel

Applicant Name: Tim B BRIZENDINE  
 Mailing Address: ~~902 Clydesdale Lane~~ 435 Exchange Astoria  
 Phone: 503-348-5653 Business Phone: same Email: timbrizendine@gmail.com  
 Property Owner's Name: EMILY FLAMING (Brizendine)  
 Mailing Address: 435 Exchange St. Astoria OR 97103  
 Business Name (if applicable): \_\_\_\_\_  
 Signature of Applicant: Tim B. Brizendine  
 Signature of Property Owner: Emily Flaming

Existing Construction and Proposed Alterations: \*TO install skylights, dormers & new front door on existing historic single family dwelling  
Attic conversion to finished  
2 bed, 1.5 bath living space.

This includes addition of historically appropriate dormer windows, replace existing glass extend door with exterior door and enlarging existing Attic 2nd floor window, and two skylights.

<b>For office use only:</b>		Pre App. June 1 9:30	
Application Complete:		Permit Info Into D-Base:	<u>5-25-16</u>
Labels Prepared:	<u>5-25-16</u>	Tentative HLC Meeting Date:	<u>6-21-16</u>
120 Days:			

**FILING INFORMATION:** Historic Landmarks Commission meets at 5:15 pm on the third Tuesday of each month. Complete applications must be received by the 13th of the month to be on the next month's agenda. A pre-application meeting with the Planner is required prior to the acceptance of the application as complete. **Only complete applications will be scheduled on the agenda.** Your attendance at the Historic Landmarks Commission meeting is recommended.

Briefly address each of the Exterior Alteration Criteria and state why this request should be approved. (Use additional sheets if necessary.):

1. Every reasonable effort shall be made to provide a compatible use for a property which requires minimal alteration of the building, structure, or site and its environment, or to use a property for its originally intended purpose.

*gives ample*  
Attic conversion will only alter the external appearance by the addition of two Gable front dormers. The dormers are consistent w/ the historic age of home (Additionally, these changes do not change use of property. It will still be used as a single family home.

2. The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.

Nothing is being removed or destroyed.

3. All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.

*gives ample*  
The addition of the two dormer windows is historically consistent with age of home. Dormers can currently be seen on multiple historical properties in Astoria. (Our neighbor hood has many homes w/ dormer windows)

4. Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.

We are not destroying any part of home, nor are we changing structure of home. The only visible change will be windows on second level.

5. Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.

We will not alter any stylistic features of home. We will be including the addition of such details into our dormers (ie including the details in peak of gable to match existing window/roof line details ~~TTTTTT~~)

6. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.

We are not replacing, but rather adding windows.

7. The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.

We will not be cleaning/sandblasting exterior  
of home.

8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.

Notes - I don't believe these are applicable to our  
project/area.

9. Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and addition do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood or environment.

We are not adding anything contemporary, but  
rather altering home (w/ dormers/windows) to match  
historical time of home.

10. Wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

Proposed dormers could be removed & roof re-built back  
to original if someone so pleased in the future  
of the home.

**PLANS: A site plan indicating location of structure on the property and the location of the proposed alterations is required. Diagrams showing the proposed alterations indicating style and type of materials proposed to be used. Scaled free-hand drawings are acceptable. The City may be able to provide some historic technical assistance on your proposal.**

113 BUILDING NAME: Historic: Hart House  
Present: Unknown  
ADDRESS: 435 Exchange Street, Astoria  
CLASSIFICATION: Primary  
RESOURCE TYPE: Building  
YEAR BUILT: c. 1895  
STYLE: Stick Style

ALTERATIONS: Entrance porch enclosed, c. 1950

OWNER'S NAME AND ADDRESS: Louis & Anna Washer  
461 Exchange Street  
Astoria, Oregon 97103

ASSESSOR'S MAP #: Sect. 07 T8N R9W WWM 89 07 DD ADDITION: McClures  
BLOCK #: 51 LOT #:2 TAX LOT #: 2900 S.I. #: 614

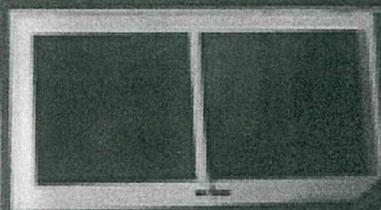
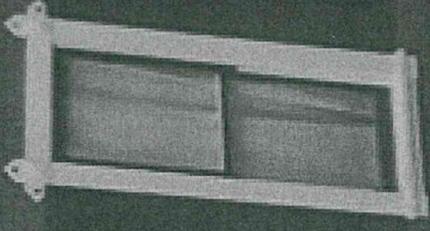
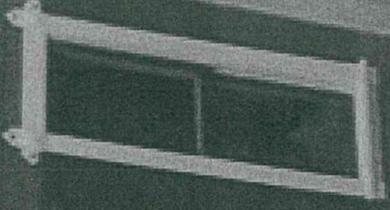
USE: Residence

DESCRIPTION: This one and one-half story building has an 'L' shaped plan, is of wood frame construction with a basement and a concrete foundation. The combination truncated hip and gable roofs are of wood shingle. The primary window type is a one-over-one double hung wood sash with the characteristic stick style strapping trim, and decorative hoods with circular ends. Primary windows are used singly and in pairs. The exterior finish material is a beveled wood horizontal siding. The main (north) elevation has a primary window at the second level, below a decorative row of spindos and a circular cutout at the gable end peak. The main floor has a pair of primary windows, with decorative hoods. The entrance porch at the juncture of the to building forms has been enclosed with a compatible half hip roof and horizontal siding. There is one altered window at the enclosed porch of a fixed pane in a wood sash. The entrance door is flanked by two unequally divided one-over-one double hung wood sash windows. There is a detached gable roofed garage on the site to the southwest of the building. Originally built as a single family residence on a sloping mid-block site on a residential cul-de-sac, this modest local version of the Stick Style is in excellent condition.

First known residents were brothers Purdy and Frank Hart. Purdy was a machinist at the Kinney Cannery and Frank managed a downtown drugstore.



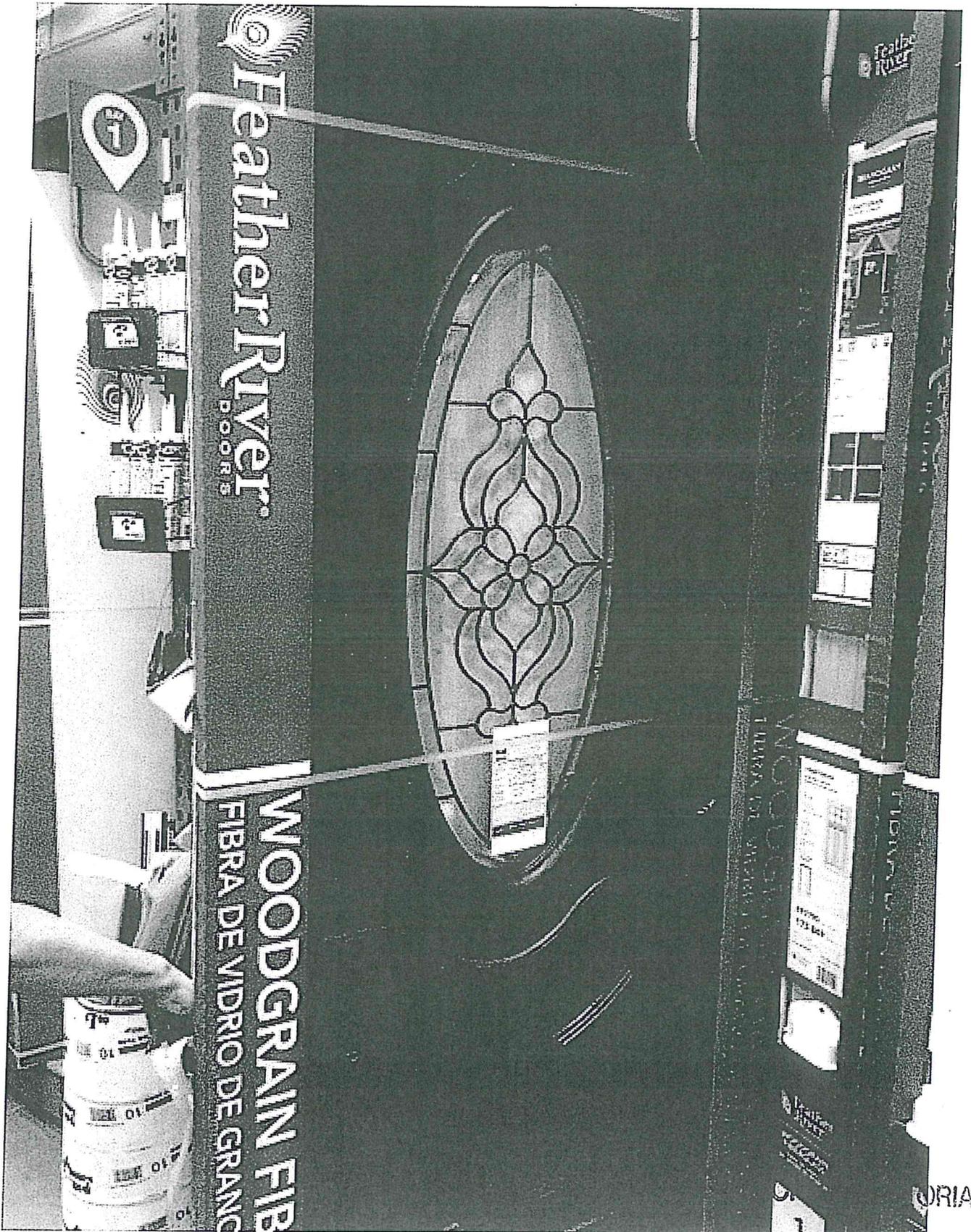








FRONT DOOR



MAY 18 REC'D

BUILDING CODES

# LAKEWOOD®

Patina Caming  
3/4 Oval  
Medium Oak Finish

SIZE  
36" x 80"

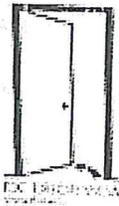
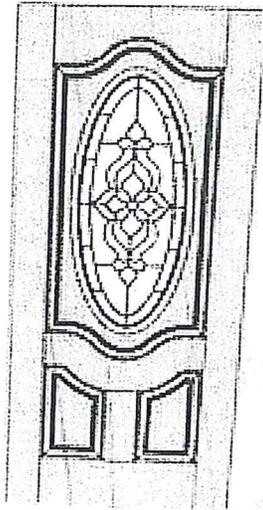
ROUGH  
OPENING  
38 1/4" x 82 1/8"

JAMB  
4 9/16"

BACKSET  
2 3/8"

BRICKMOLD  
YES

HAND  
LEFT HAND  
IN SWING



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years of  
experience  
in the  
door  
industry  
is the  
reason  
why we  
are the  
industry  
leader.  
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committed  
to providing  
the highest  
quality  
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and  
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125-083 HD SKU #

SPRINKLER #1-47  
APPROXIMATE WEIGHT 18 LBS

FEED 12015  
DL 104

PO# 39750071

STORE #4001

HD SKU # 125-083

Feather  
River



## Detailed Quote



### City Lumber Company

2142 Commercial Street  
Astoria, Oregon 97103  
503-325-4511  
www.citylumber.com



*Clearly the best.™*

#### Project Information

Project:	FIBERGLASS CLAD	Project ID:	1961
Sales Rep:	Simon	Created Date:	05/22/2016
Delivery / Pickup:	Delivery	Modified Date:	05/22/2016
		Print Date:	05/22/2016
Customer:	TIM BRIZENDINE	PO:	
Terms:		Est. Delivery:	_____
Comments:		(After Receipt of Order)	

#### Billing Information

#### Shipping Information

Customer Name:  
Address:  
  
Customer Phone:  
Fax:  
Email:

Jobsite Contact:  
Address:  
  
Contact Phone:  
Fax: (Select Preference)  
Email:

Manufacturer: Milgard

Item: 0001

Quantity: 1

Location:

WoodClad, B210, SH, RO 24" x 66", UF: 0.3, SGC: 0.29, VLT: 0.55  
Northern Energy Package Discount  
Gas Filled Argon

456.26  
-0.53  
8.41



Clear Opening W: 21 5/16" H: 29 1/8" SQ: 4.31  
Fin Placement: 1 3/8" Setback; Horizontal Vent Set: 33"; Vent Height:  
One Half; Exterior Finish: Frost; Interior Finish: Unfinished Vertical Grain  
Douglas Fir; Energy Package: Northern; Glazing: Dual Glazed (Insulated  
Glass); Outer Glass Lite Option: SunCoat Low-E; Inner Glass Lite  
Option: Clear; Glass Thick 1: 1/8"; Glass Thick 2: 1/8"; Spacer Type:  
EdgeGardMAX; Gas Filled: Argon; Lock Type: Positive Action Lock;  
Hardware Finish: Clay; Screen: Standard with Fiberglass mesh; STC: 28  
CPD: MIL-A-157-01862-00001

Item Total: \$ 464.14  
Item Quantity Total: \$ 464.14

Line Item Comments:

Customer Approval: \_\_\_\_\_  
Initials

CITY OF ASTORIA

MAY 23 REC'D

BUILDING CODES

Manufacturer: Milgard

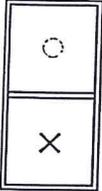
Item: 0002

Location:

Quantity: 1

WoodClad, 3210, SH, RO 36" x 72", UF: 0.3, SGC: 0.29, VLT: 0.55  
Northern Energy Package Discount  
Gas Filled Argon

547.19  
-0.53  
13.67



Clear Opening W: 33 5/16" H: 32 1/8" SQ: 7.43  
Fin Placement: 1 3/8" Setback; Horizontal Vent Set: 36"; Vent Height:  
One Half; Exterior Finish: Frost; Interior Finish: Unfinished Vertical Grain  
Douglas Fir; Energy Package: Northern; Glazing: Dual Glazed (Insulated  
Glass); Outer Glass Lite Option: SunCoat Low-E; Inner Glass Lite  
Option: Clear; Glass Thick 1: 1/8"; Glass Thick 2: 1/8"; Spacer Type:  
EdgeGardMAX; Gas Filled: Argon; Lock Type: Positive Action Lock;  
Hardware Finish: Clay; Screen: Standard with Fiberglass mesh; STC: 28  
CPD: MIL-A-157-01862-00001

Item Total: \$ 560.33  
Item Quantity Total: \$ 560.33

Line Item Comments:

Customer Approval: \_\_\_\_\_  
Initials

Manufacturer: Milgard

Item: 0003

Location:

Quantity: 1

WoodClad, 3510, FC, RO 24" x 72", UF: 0.3, SGC: 0.25, VLT: 0.45  
1/8" SunCoat Low-E and 3/16" Clear  
Northern Energy Package Discount  
Gas Filled Argon  
Narrow Vintage

475.71  
19.45  
-0.53  
8.94  
50.46



Clear Opening W: 14 1/2" H: 67 1/4" SQ: 6.77  
Fin Placement: 1 3/8" Setback; Hinge Side: Left; Exterior Finish: Frost;  
Interior Finish: Unfinished Vertical Grain Douglas Fir; Energy Package:  
Northern; Glazing: Dual Glazed (Insulated Glass); Outer Glass Lite  
Option: SunCoat Low-E; Inner Glass Lite Option: Clear; Glass Thick 1:  
1/8"; Glass Thick 2: 3/16"; Spacer Type: EdgeGardMAX; Gas Filled:  
Argon; Exterior Grid Color: Frost; Interior Grid Color: Unfinished Vertical  
Grain Douglas Fir; Grid Configuration: SGEQ; Custom Grid Pattern:  
1W2H; Grid Lites=2; Hardware Finish: Clay; Handle Type: Standard  
Roto/Stainless Steel Operator; Screen: Standard with Fiberglass mesh;  
Screen Color: White; STC: 34 CPD: MIL-A-167-01651-00002

Item Total: \$ 554.03  
Item Quantity Total: \$ 554.03

Even though the diagram of the grids may not line up exactly,  
manufacturer will line up the grids when being built.

Line Item Comments:

Customer Approval: \_\_\_\_\_  
Initials

Other Charges:

SUBMITTED BY: _____	SUB TOTAL (taxable):\$	1578.50
ACCEPTED BY: _____	SUB TOTAL (non-taxable):\$	0.00
DATE: _____	TAXES ( 0.000 % ): \$	0.00
	GRAND TOTAL: \$	1578.50

Notice (if any):

CITY OF ASTORIA

MAY 23 2016 REC'D

BUILDING CODES



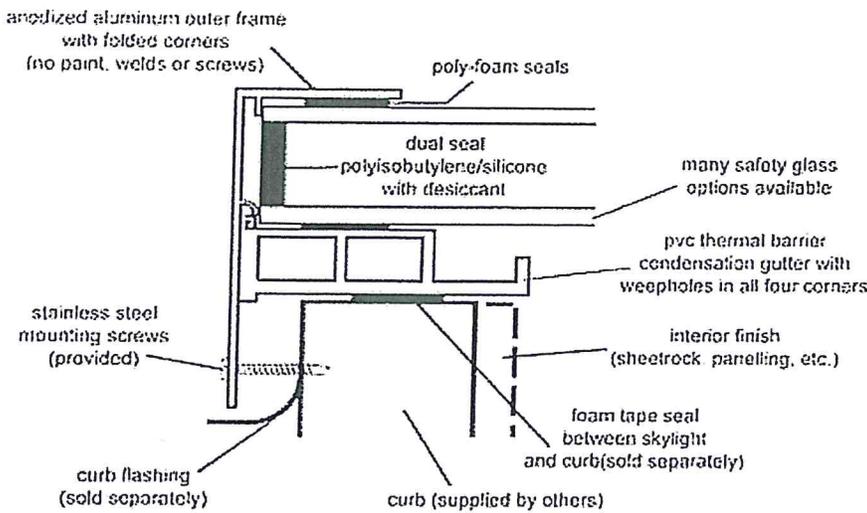
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## INSULATED GLASS SKYLIGHT

Western Skylights are designed to be curb mounted for easy installation as well as providing a simplified approach to measuring for the perfect size skylight. All Western Skylights are filled with a durable anodized aluminum frame. They also utilize an interlocking PVC inner frame with weep holes in all four corners, giving you the freedom to mount the skylight in any direction. Our Insulated Glass Skylights can use soft coat Low E as well as Argon injected between the fixed panels, making them Energy Star rated. The glass prevents heat loss through the skylight as well as providing UV protection against fading the interior of your home. All glass Western Skylights are made with tempered safety glass. The Insulated Glass Skylight is also available as an opening unit, using a hand-crank, pole, or electric operator. Plus, the glass is available in different tints to allow you to customize the look and feel.



### GLASS & ACRYLIC SKYLIGHTS

Choose from a variety of glass and acrylic domed skylight solutions

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### SOLATUBES

Choose from a variety of options from our solatubed skylight solutions.

[Learn more](#)

### SKYLIGHT SHADES

Choose from a variety of options from our shade based skylight solutions

[Learn more](#)

## ~~ACRYLIC DOMED SKYLIGHT~~

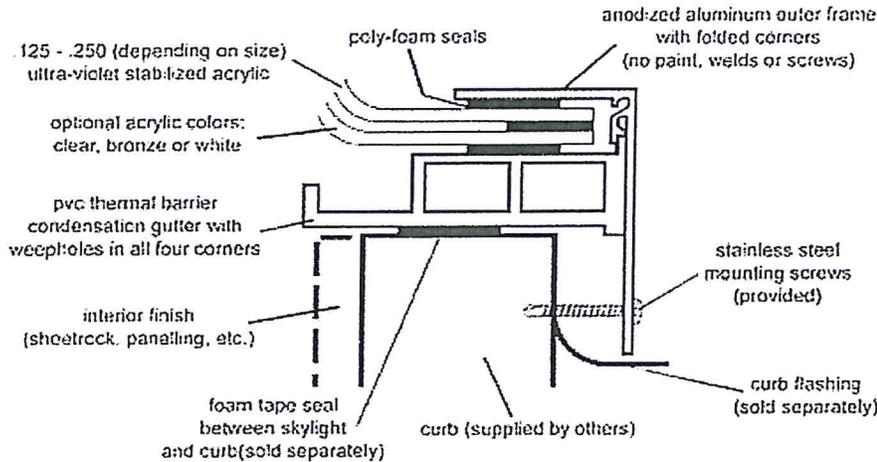
Western Skylights are designed to be curb mounted for easy installation as well as providing a simplified approach to measuring for the perfect size skylight. All Western Skylights are filled with

CITY OF ASTORIA

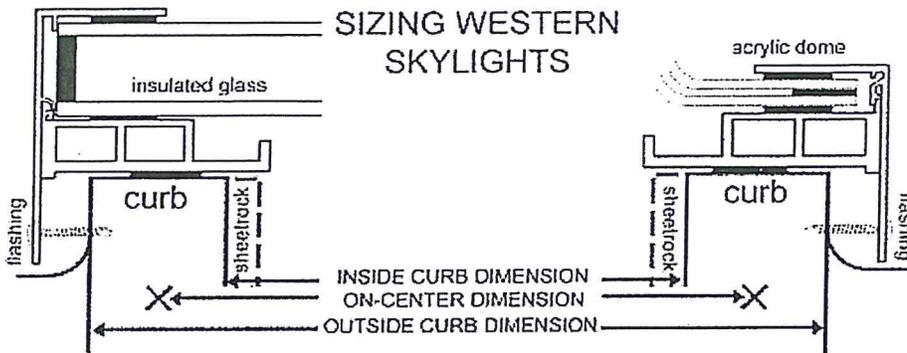
MAY 18 REC'D

BUILDING CODES

a durable anodized aluminum frame. They also utilize an interlocking PVC inner frame with weep holes in all four corners, giving you the freedom to mount the skylight in any direction. Our Acrylic Skylights use a double-dome technology for added strength and insulation. The light weight acrylic allows you to exceed 24 square feet, which is the limit for all insulated glass skylights. The domed shape reduces the amount of debris that accumulates on top of the skylight, making it ideal for flat roof applications. The Acrylic Domed Skylight is also available as an opening unit using a hand crank, pole, or electric operator. Plus, the acrylic is available in different tints to allow you to customize the look and feel of your Western Skylight.



SKYLIGHT SIZING CHART



MODEL	INSIDE CURB	ON CENTER	OUTSIDE CURB
1422	14 1/2 x 22 1/2	16 x 24	17 1/2 x 25 1/2
1434	14 1/2 x 34 1/2	16 x 36	17 1/2 x 37 1/2
1446	14 1/2 x 46 1/2	16 x 48	17 1/2 x 49 1/2
1470	14 1/2 x 70 1/2	16 x 70	17 1/2 x 73 1/2
2222	22 1/2 x 22 1/2	24 x 24	25 1/2 x 25 1/2
2234	22 1/2 x 34 1/2	24 x 36	25 1/2 x 37 1/2
2246	22 1/2 x 46 1/2	24 x 48	25 1/2 x 49 1/2
2268	22 1/2 x 68 1/2	24 x 60	25 1/2 x 61 1/2
2270	22 1/2 x 70 1/2	24 x 72	25 1/2 x 73 1/2
2284	22 1/2 x 94 1/2	24 x 93	25 1/2 x 97 1/2
3030	30 1/2 x 30 1/2	32 x 32	33 1/2 x 33 1/2
3046	30 1/2 x 46 1/2	32 x 48	33 1/2 x 49 1/2
3058	30 1/2 x 58 1/2	32 x 60	33 1/2 x 61 1/2
3070	30 1/2 x 70 1/2	32 x 72	33 1/2 x 73 1/2
3084	30 1/2 x 94 1/2	32 x 96	33 1/2 x 97 1/2
3434	34 1/2 x 34 1/2	36 x 36	37 1/2 x 37 1/2
3446	34 1/2 x 46 1/2	36 x 48	37 1/2 x 49 1/2

3458	34 1/2 x 58 1/2	36 x 60	37 1/2 x 61 1/2
3470	34 1/2 x 70 1/2	36 x 72	37 1/2 x 73 1/2
3494	34 1/2 x 94 1/2	36 x 96	37 1/2 x 97 1/2
4046	46 1/2 x 46 1/2	48 x 48	49 1/2 x 49 1/2
4670	46 1/2 x 70 1/2	48 x 72	49 1/2 x 73 1/2
4694	46 1/2 x 94 1/2	48 x 96	49 1/2 x 97 1/2
5058	58 1/2 x 58 1/2	60 x 60	61 1/2 x 61 1/2
5094	58 1/2 x 94 1/2	60 x 96	61 1/2 x 97 1/2
7070	70 1/2 x 70 1/2	72 x 72	73 1/2 x 73 1/2
7094	70 1/2 x 94 1/2	72 x 96	73 1/2 x 97 1/2

**WARRANTY**

KDL ENTERPRISES, INC. IS PROUD TO STAND BEHIND EVERY SKYLIGHT WE BUILD. WESTERN SKYLIGHTS MADE WITH GLASS ARE WARRANTED TO BE FREE OF DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF TEN YEARS FROM THE DATE OF PURCHASE. WESTERN SKYLIGHTS MADE WITH ACRYLIC ARE WARRANTED TO BE FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF FIVE YEARS FROM THE DATE OF PURCHASE.

KDL ENTERPRISES, INC., AT ITS OPTION, WILL REPAIR OR REPLACE DEFECTIVE UNITS AT NO CHARGE AS LONG AS NO DAMAGE, MODIFICATIONS OR EVIDENCE OF DISASSEMBLY EXISTS. THE WARRANTY DOES NOT INCLUDE REMOVAL OF THE DEFECTIVE SKYLIGHT OR INSTALLATION OF A REPLACEMENT UNIT. IN NO EVENT WILL KDL ENTERPRISES, INC. BE LIABLE FOR ANY INCIDENTAL OR CONSEQUENTIAL DAMAGE.

SPONTANEOUS BURSTING OF TEMPERED GLASS OR CRACKING OF LAMINATED GLASS IS NOT WARRANTED BY THE GLASS MANUFACTURERS AND IS THEREFORE NOT COVERED UNDER OUR WARRANTY TERMS. A DISCOUNTED REPLACEMENT CHARGE IS AVAILABLE IN THESE CASES.

"ALL LOW E WESTERN SKYLIGHTS ARE ENERGY STAR RATED"

"To obtain a Manufacturer's Certification Statement in regards to the NFRC ratings, please contact us at [sales@kdjenterprises.com](mailto:sales@kdjenterprises.com)

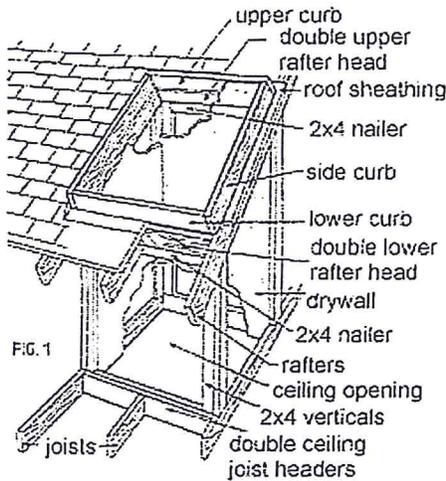
**ENERGY PERFORMANCE RATINGS**

**ENERGY PERFORMANCE RATINGS**  
 U-Factor (U.S.G.P.) **0.50**      Solar Heat Gain Coefficient **0.46**  
**ADDITIONAL PERFORMANCE RATINGS**  
 Visible Transmittance **0.70**

**ENERGY PERFORMANCE RATINGS**  
 U-Factor (U.S.G.P.) **0.71**      Solar Heat Gain Coefficient **0.77**  
**ADDITIONAL PERFORMANCE RATINGS**  
 Visible Transmittance **0.82**

**SELF CLEANING GLASS**

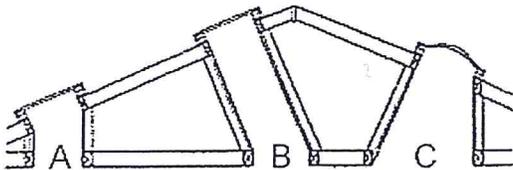
KDL Enterprises can provide a "Green" environmentally safe coating for any of our products that GREATLY REDUCES THE NEED FOR CLEANING! This revolutionary technology only requires Sunlight and Water (rain) to activate its process of destroying and washing away organic materials from the surface.



## STEP 2

Decide on the type of light shaft to be constructed. Do not use a glass skylight on a roof with less than a 2:12 pitch.

1. Vertical shaft - good for relatively small light shafts. Simple to construct.
2. Slanted shaft - effective in skylight area close to or under ridge of house or in clearing obstacles in attic.
3. Flared shaft (most common) - wall on low side can be flared or vertical (vertical shown). Wall on high side flared. Increases amount of light into the room. Best for deep long shafts.

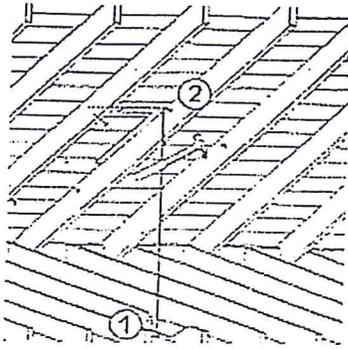


## STEP 3

Check area above for electrical ductwork, plumbing, etc. If possible, remove insulation from area.

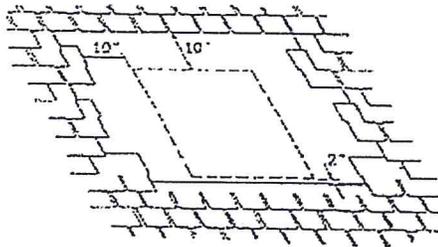
Locate proposed opening in roof in relation to interior of room below by driving one pilot nail from ceiling into attic (1). Plumb to the inside of the nearest roof after (2). Mark position between roof rafters by driving a nail at each corner through roof (2). Verify proposed opening with skylight size.

Cut ceiling opening with saw or sheetrock knife leaving ceiling joists and rafters intact.



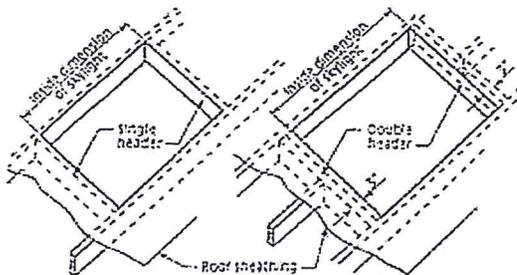
**STEP 4**

Proceed to the roof and using the nails protruding through the roof as a guide, carefully remove the shingles (not roofing felt) approximately 10" beyond the nails or to the next natural break on the top and two sides. Cut shingles/shingles along a line 2" below the two lower nails and the width of the space between the nails. From your reference nails, draw the "rough opening" on the roofing felt. Check these dimensions against the correct "rough opening" or inside curbs dimensions. Also determine if rough opening is "true and square".



**STEP 5**

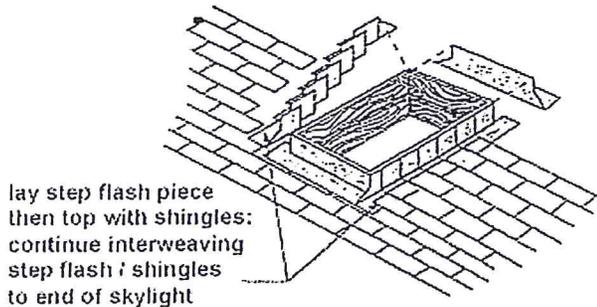
Set the blade depth on your power saw to the thickness of the roofing material. Take care not to cut into the roof rafters. Cut out the skylight opening. Finish the top and bottom of the opening with a single cross header. Remember, there are ways to install larger skylights without cutting rafters or factory-made trusses. If a roof rafter is to be cut, it will be necessary to temporarily support the rafter until a double cross header can be installed. Where cross headers are required measure off the inside length of the skylight +3" on both the high and low side to allow for the header to be added.



**STEP 6**

Build a 2x6 curb box with inside dimensions the same as the rough opening. Fasten curb box to roof in alignment with the opening.

Flashing is one of the most critical steps in a skylight installation. We recommend the use of "Flash It" kits made specifically for Western Skylights. Flash from bottom to top. Continuous top and bottom flashing should extend 4" beyond sides; cut and bend overlap down onto roof. The first side flashing should extend 4" down beyond the bottom of the curb. For other than shake/shingle roofs, consult your building dealer for proper flashing materials and methods.

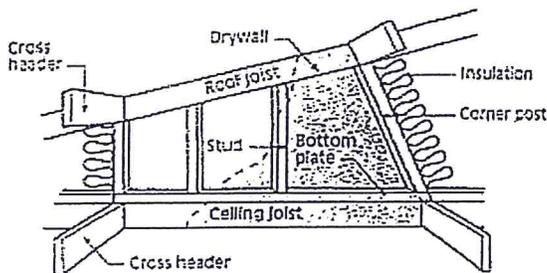


**STEP 7**

Finish the light shaft with a vertical 2"x4" framing from ceiling opening to the roof opening.

Apply finish material inside the framed light shaft to the top of the curb. Cover cut drywall edges at top of light shaft with "J" molding. Finish light shaft and ceiling opening as required.

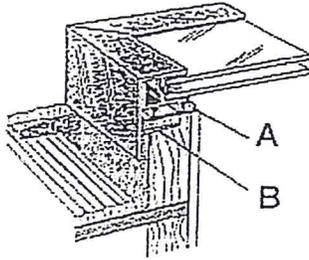
Apply insulation to outside of light shaft studs. Be sure barrier on insulation faces toward light shaft.



**STEP 8**

Install skylight on curb, making sure the skylight frame is down tight on the top of the curb and there is an equal spacing between the skylight frame and the face of the curb.

1. Use foam tape (sticky on one side) to seal between the skylight and the curb. Do not glue skylight to curb.
2. Secure the skylight with a stainless steel screws (provided) through the outside frame to the curb.



## CLEANING

Glass: Same manner as windows.

Acrylic: Do not use window cleaners, ammonia, etc. Pour liquid detergent on a wet sponge. Use RUNNING hose to flood dirt off. DO NOT SCRUB. Air dry. Tape, tar, and most other materials can be removed with mineral spirits and a soft cloth. Wash off with soap and plenty of water.

Scratches: Glass scratches cannot generally be removed. Acrylic scratches may be buffed out using automotive rubbing compounds followed by finer polishing compounds. Deep scratches will require WET sanding with 900 or 1200 grit sandpaper first.

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## Flash Kit Instructions

### BEFORE YOU START

CHECK TO SEE IF STEP FLASHING WILL BE TALL ENOUGH TO REACH THE TOP EDGE OF THE CURB. EITHER THE 4" OR 8" LEG OF THE STEP FLASHING MAY BE TURNED UP. IF THE STEP FLASHINGS ARE TOO SHORT, YOU MUST SUPPLY AN "L" SHAPED COUNTER FLASH FROM THE TOP OF THE CURB DOWN OVER THE STEPS AFTER YOU HAVE COMPLETED THE FLASHING PROCESS.

### STEP 1

Always work from bottom to top. Cut base flashing from 3" material, leaving 4" extra on each end. Flashing should be flush with top of curb (fig. 2). Do not install yet. It may be necessary to trim the base plate of the flash guard corners so that they do not extend beyond the base flashing when installed. To trim, cut with a saw or score with a utility knife and break off pieces.

### STEP 2

Replace course of roofing up to bottom of curb. Fasten "flash guard" bases to lower curb with one nail (fig. 1). Install base flashing as in fig. 2 but do not nail through flash guard base. Slip upper section of flash guard between base flashing and flash guard base (fig. 2). Base flashing will hold it in place.

### STEP 3

Using template, cut pattern for both bottom step flashings. Be sure to make a right and a left. Install directly on top of base flashing tabs. Fold flaps over toward each other (fig. 3). Do not nail through Flash Guard corners. Replace shingle over bottom step leaving 3/4" to 1" of space from edges of shingles to side of curb.

### GLASS & ACRYLIC SKYLIGHTS

Choose from a variety of glass and acrylic domed skylight solutions.

[Learn more](#)

### SOLATUBES

Choose from a variety of options from our solatubes skylight solutions.

[Learn more](#)

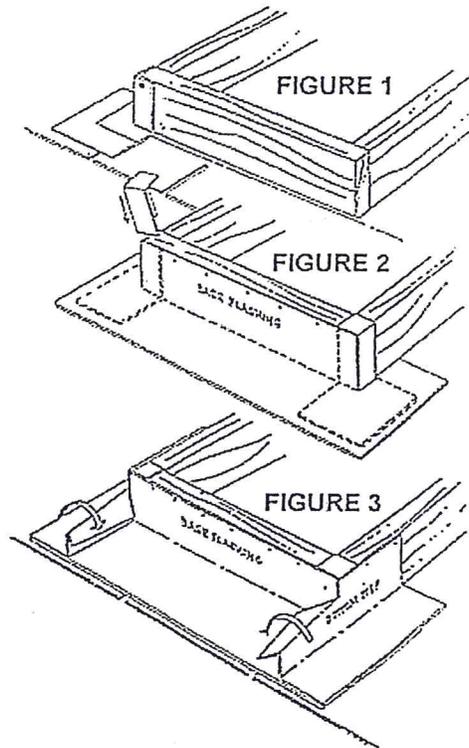
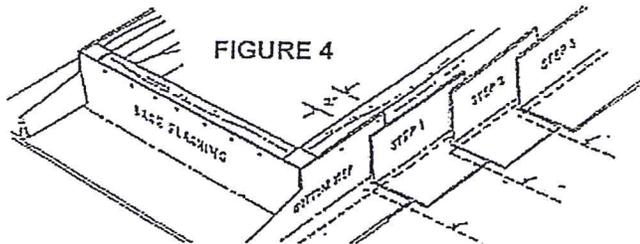
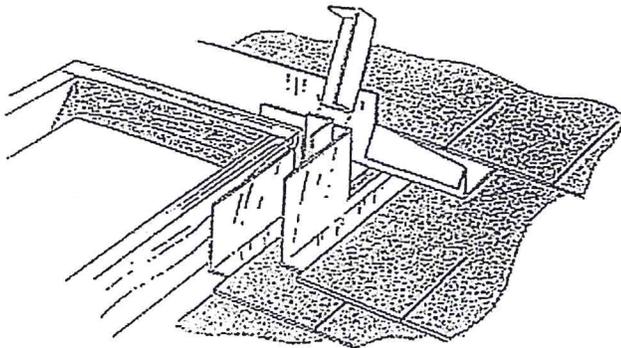
### SKYLIGHT SHADES

Choose from a variety of options from our shade based skylight solutions.

[Learn more](#)

**STEP 4**

Trim side flashings to mount flush with top of curb. Install each flashing step over previous course of roofing and position so it overlaps the previous flash step by at least 2". The next roofing course will cover the flash step. Remember to leave 3/4" to 1" of soading from roofing to curb. Repeat the process on each side of the curb. Do not install top step flashing yet.

**TOP CORNER - EXPLODED VIEW****STEP 5**

Top Flash Guard corners do not need to be trimmed but may need height adjustment. Install base of Flash Guard with one nail as in fig. 5.

**STEP 6**

Fabricate top step (fig. 6). **HINT:** When making the cut for the top fold, cut downward toward curb corner above the crease in the step a distance equal to the thickness of the roofing material (i.e. composition 1/8" or slate 1/2" to 3/4"). This offers greater leak protection at corners. Slip top section of Flash Guard between step flash and Flash Guard base.

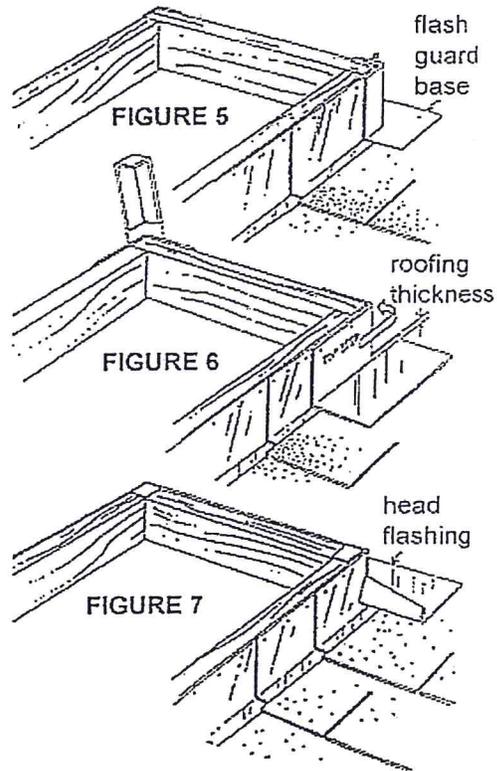
**STEP 7**

Cut head flashing from 1/4" material, leaving 4" extra on each end. Using template, cut pattern at both ends and bend head flashing to come flush.

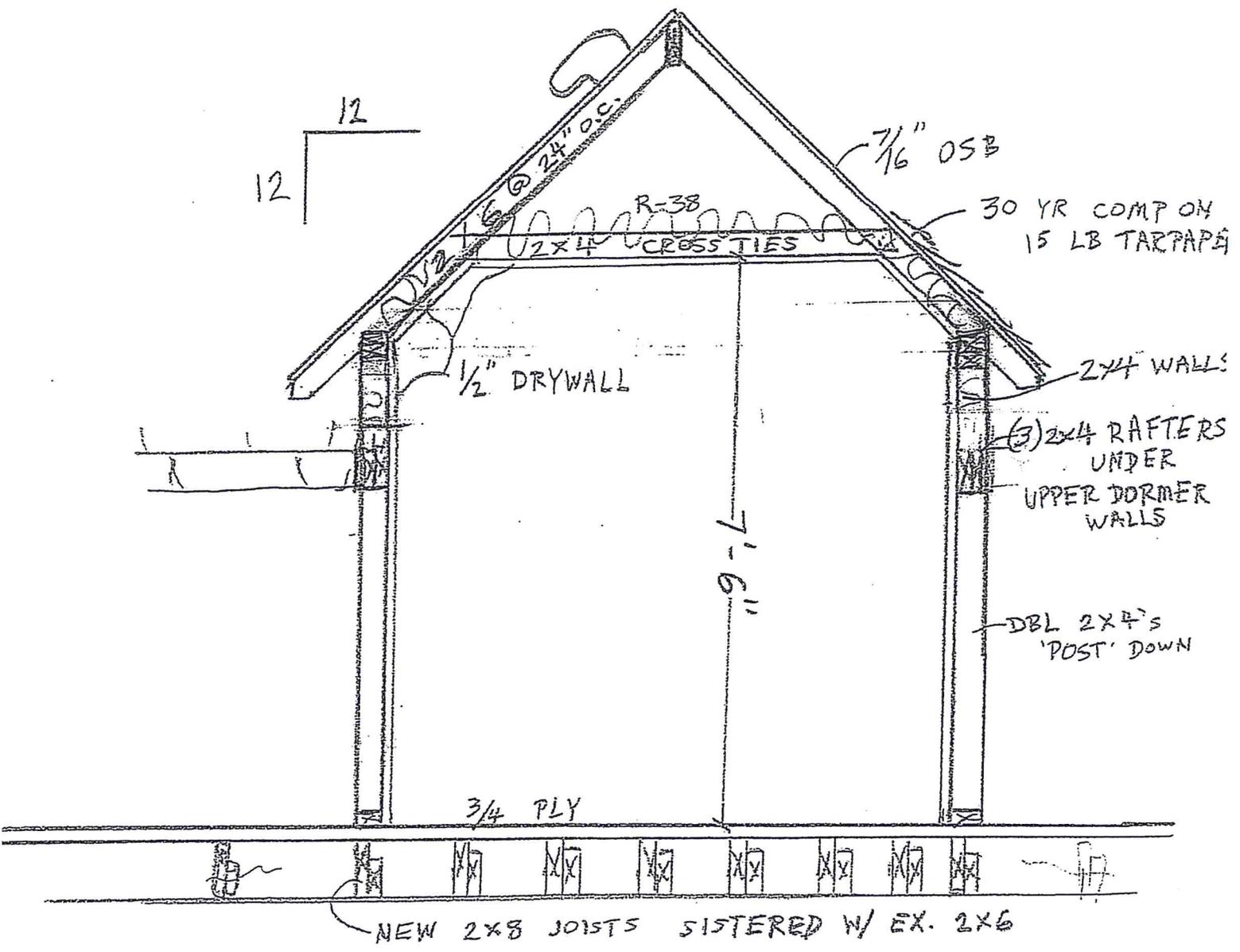
with top of curb. Slip under upper course of roofing and all along top of curb. Do not nail through Flash Guard. Fold tabs downward (fig. 7).  
NOTE: If head flashing fails to reach past upper felt on shake roofing or past splits in composition roofing, add an additional strip of felt or metal under existing felt of shingle splits wide enough to lap on top of head flashing base. Leave 1" - 2" clearance from lower edge of roofing course to curb along head flashing to eliminate debris accumulation.

### STEP 8

Install skylight using foam tape as a seal between skylight and curb. Do not use adhesive caulking that will adhere skylight to curb causing damage if it is necessary to remove skylight.

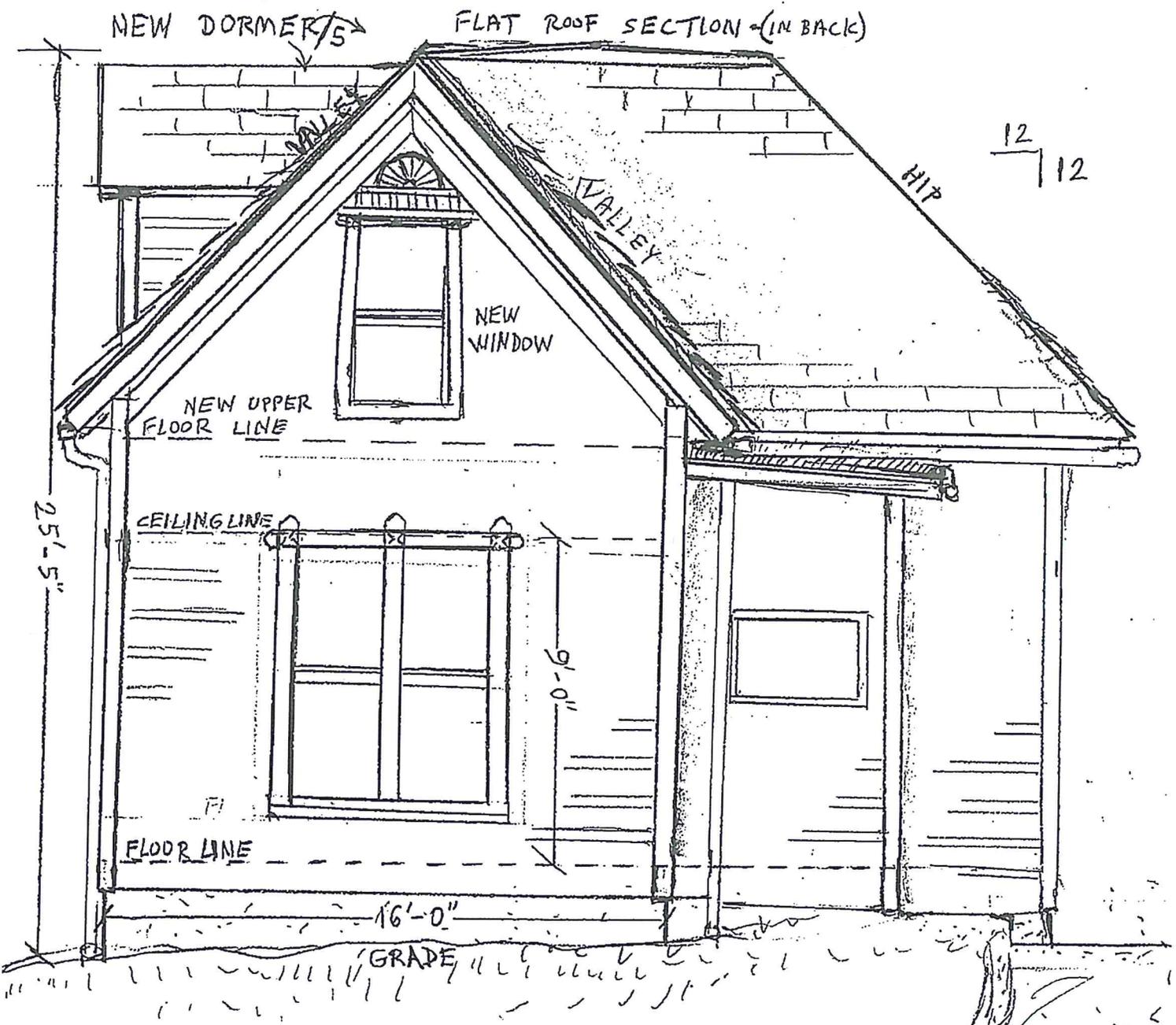


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CROSS SECTION C-C  
 DORMERS  
 $\frac{1}{2}'' = 1'$

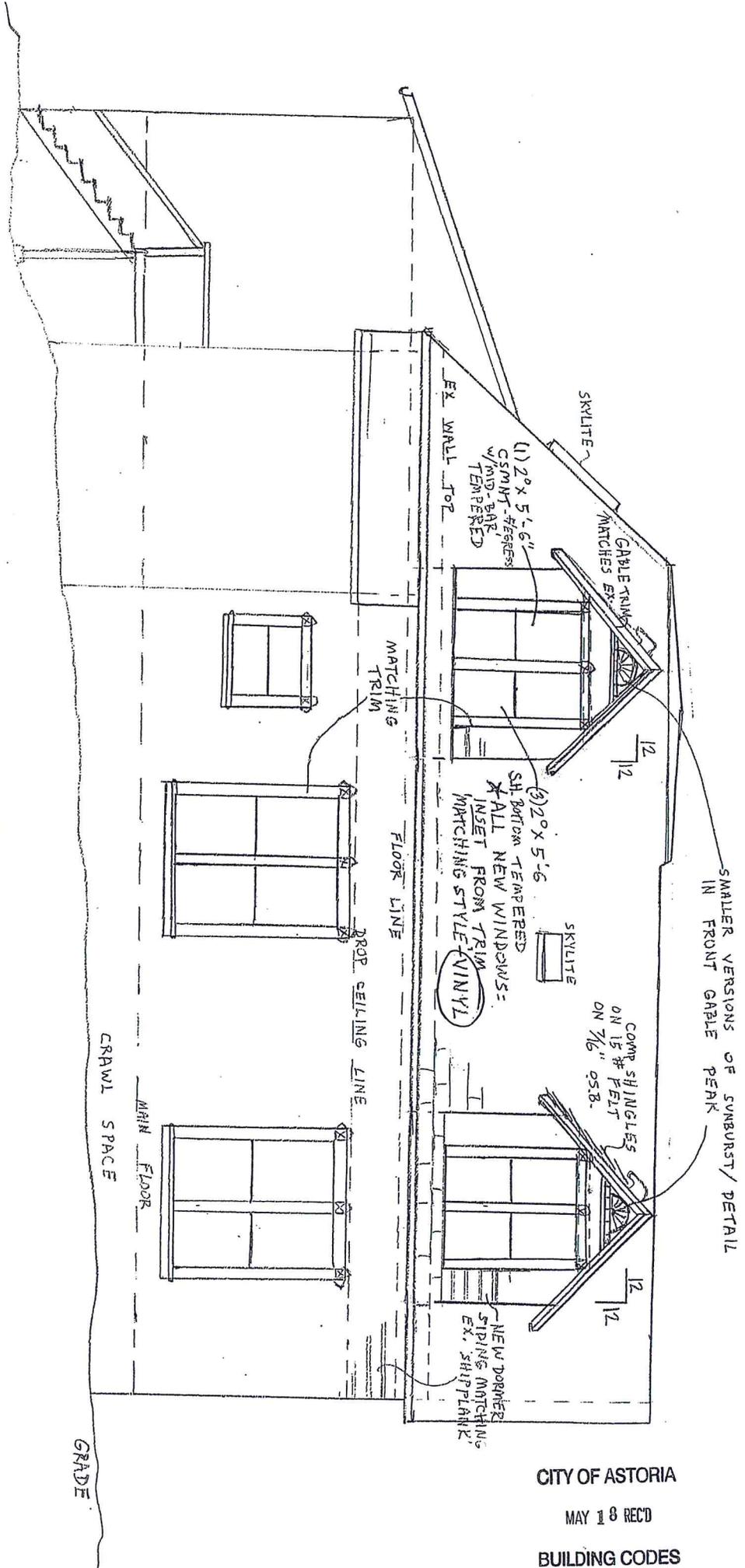
CITY OF ASTORIA  
 MAY 18 RECD  
 BUILDING CODES



FRONT ELEVATION  
WITH DORMER/S  
 $\frac{1}{4}'' = 1'$

EMILY'S ATTIC REMODEL

EMILY'S ATTIC REMODEL  
 LEFT SIDE ELEVATION w/ NEW DORMERS  
 1/4" = 1'



CITY OF ASTORIA  
 MAY 18 RECD  
 BUILDING CODES

SEPARATE ELECTRICAL,  
MECHANICAL, PLUMBING  
PERMITS & APPROVALS  
ALSO REQUIRED.

BUILDING  
DEPARTMENT  
COPY

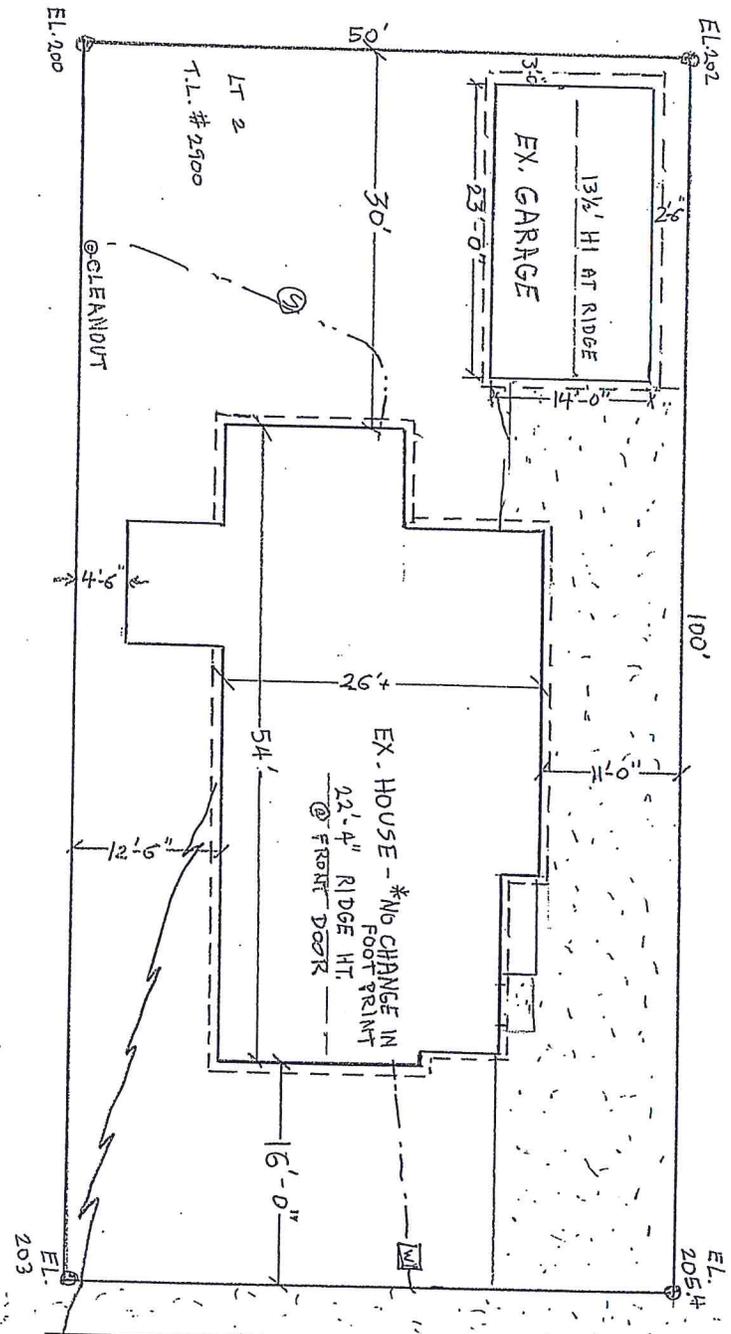
ALL WORK SUBJECT  
TO FIELD INSPECTION

PLAN

REVIEWED FOR CODE COMPLIANCE  
PLAN APPROVED

Approved plans and specifications shall not be changed  
modified or altered without authorizations from the building  
official, and all work regulated by the code shall be done in  
accordance with the approved plans. The issuance or granting  
of a permit or approval of plans, specifications, and  
computations shall not be construed to be a permit for, or an  
approval of, any violation of any of the provisions of the code  
or any other ordinance of the jurisdiction.

City of Astoria, OR  
*Steve McNeelley* Date *5/21/16*  
OVERSEER  
TOWER



EMILY'S ATTIC REMODEL

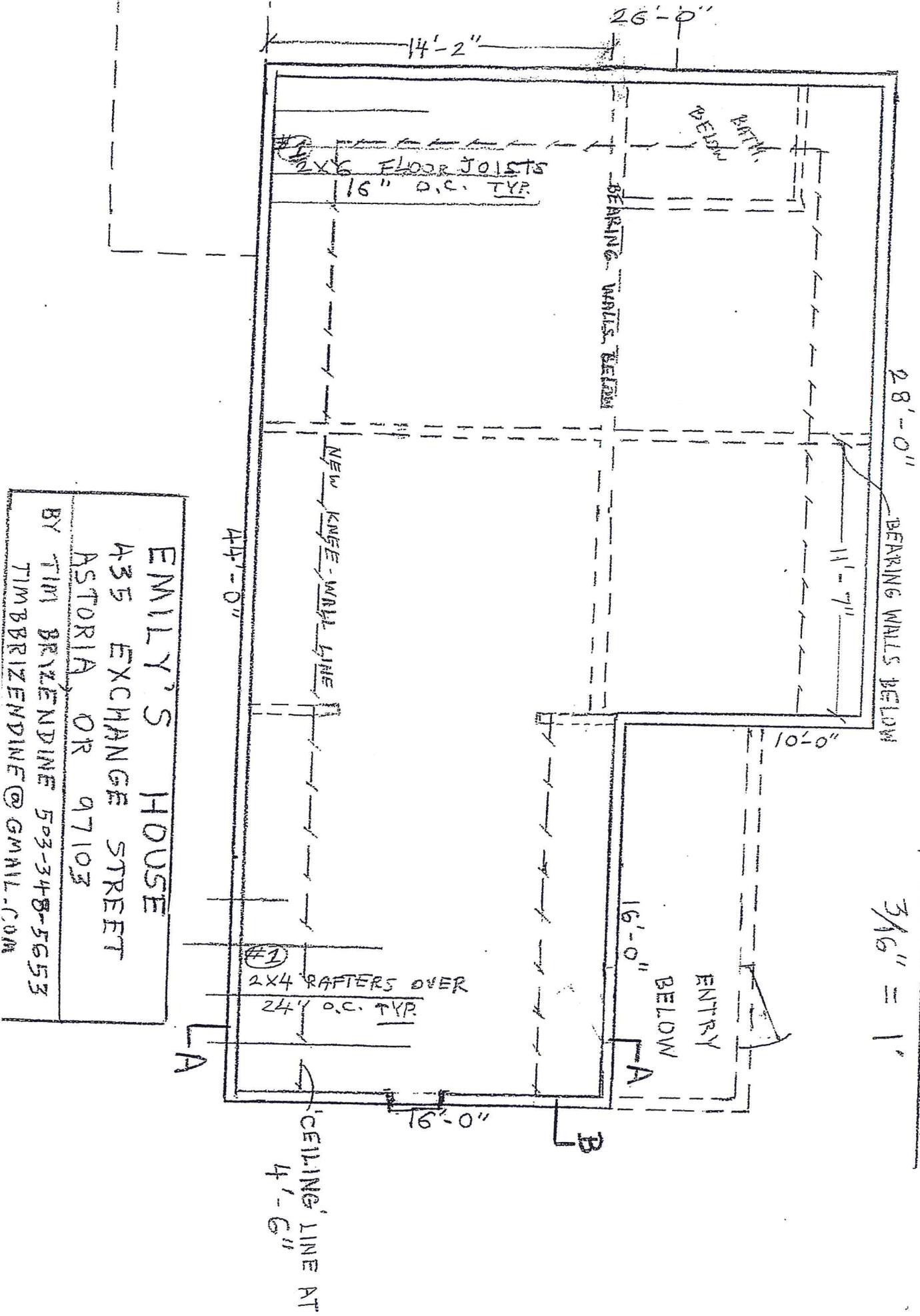
FOOTPRINT OF HOUSE	1,328
12" EAVE ON HOUSE	160
FOOTPRINT OF GARAGE	322
12" EAVE ON GARAGE	74
BLDG. COVERAGE TOTAL SQ FT =	1,884
LOT COVERAGE: 1884 ÷ 5,000 =	37.7%

FRONT YARD AREA:	
PAVED FOR VEHICLES	300
FRONT YARD AREA	800
FRONT YARD PAVED AREA	300 ÷ 800 = 37.5%

435 EXCHANGE ST, ASTORIA, OR 97103  
LEGAL: McCLURES LT 2, BLCK B1  
BY: TIM BRIZENDINE, PH 503-348-5653  
TIM.BRIZENDINE@GMAIL.COM

# EXISTING

# EMILY'S ATTIC REMODEL



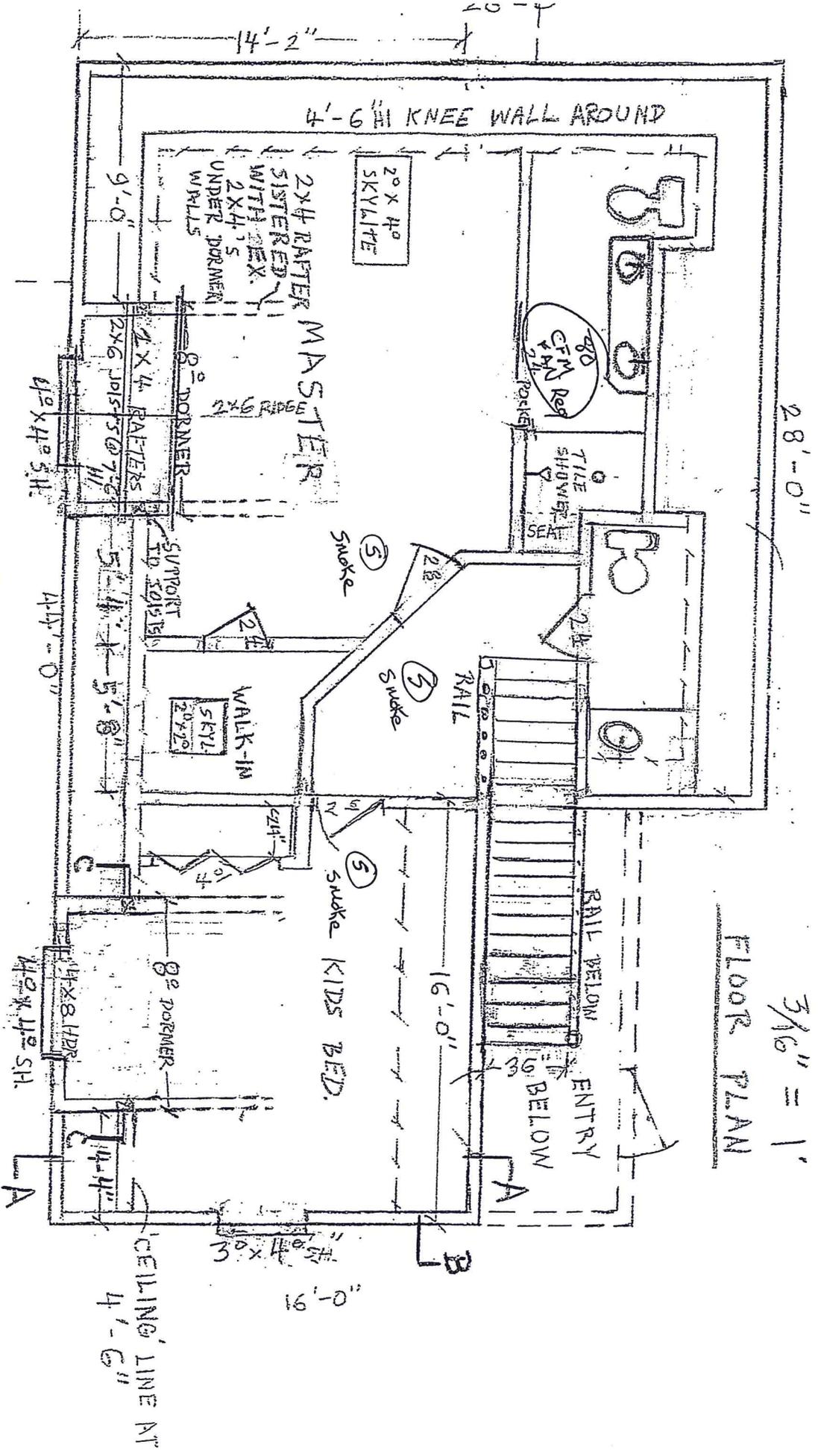
EMILY'S HOUSE  
435 EXCHANGE STREET  
ASTORIA, OR 97103  
BY TIM BRIZENDINE 503-348-5653  
TIMBRIZENDINE@GMAIL.COM

NEW

EMILY'S ATTIC REMODEL

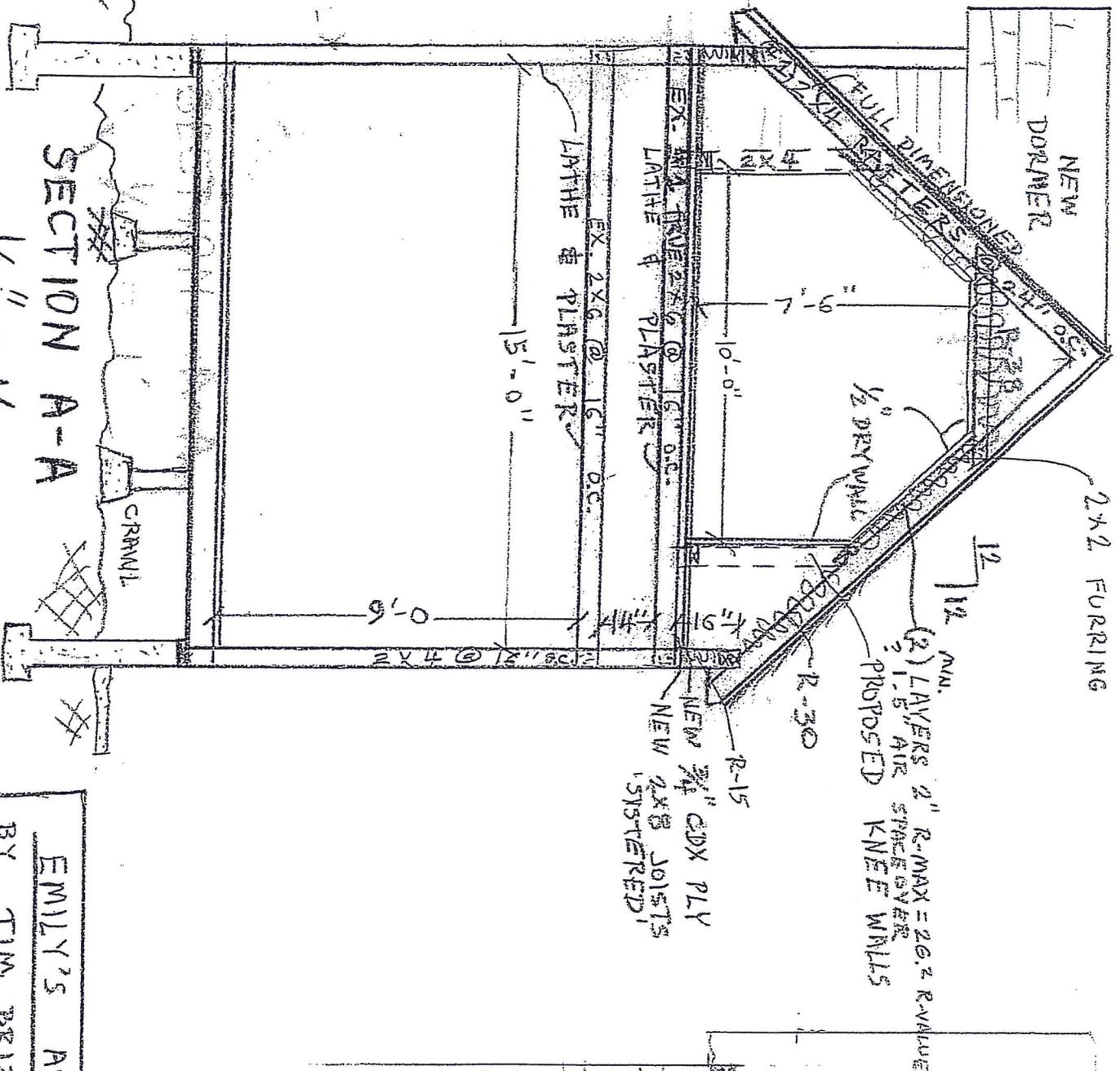
3/16" = 1'

FLOOR PLAN

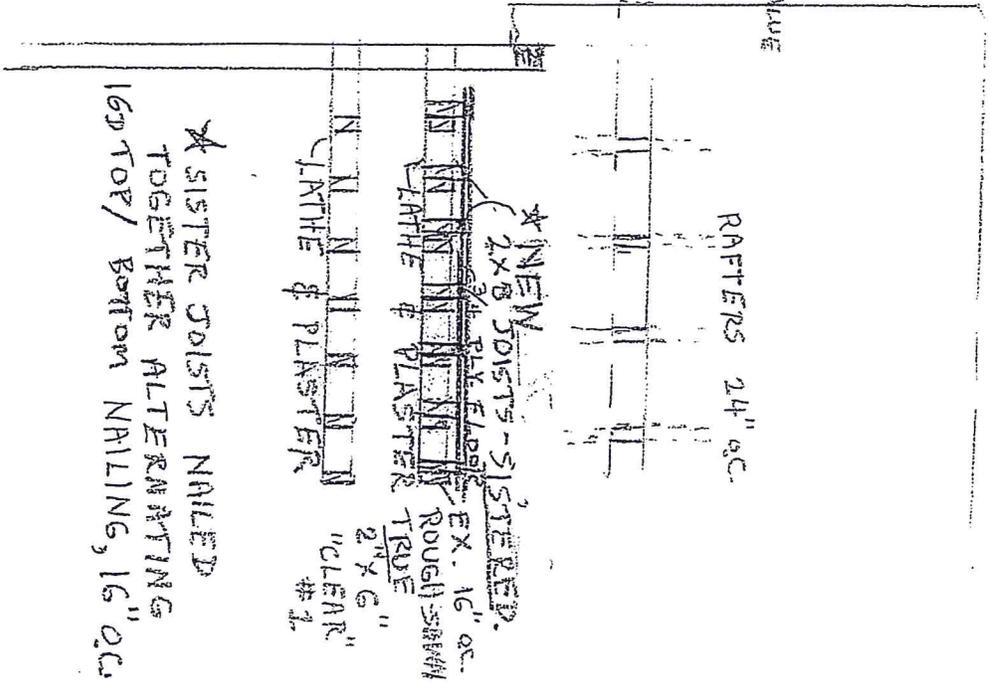


EMILY'S HOUSE  
 435 EXCHANGE STREET  
 ASTORIA, OR 97103  
 BY TIM BRIZENDINE 503-348-5653  
 TIMBRIZENDINE@GMAIL.COM

NEW



SECTION A-A  
1/4" = 1'

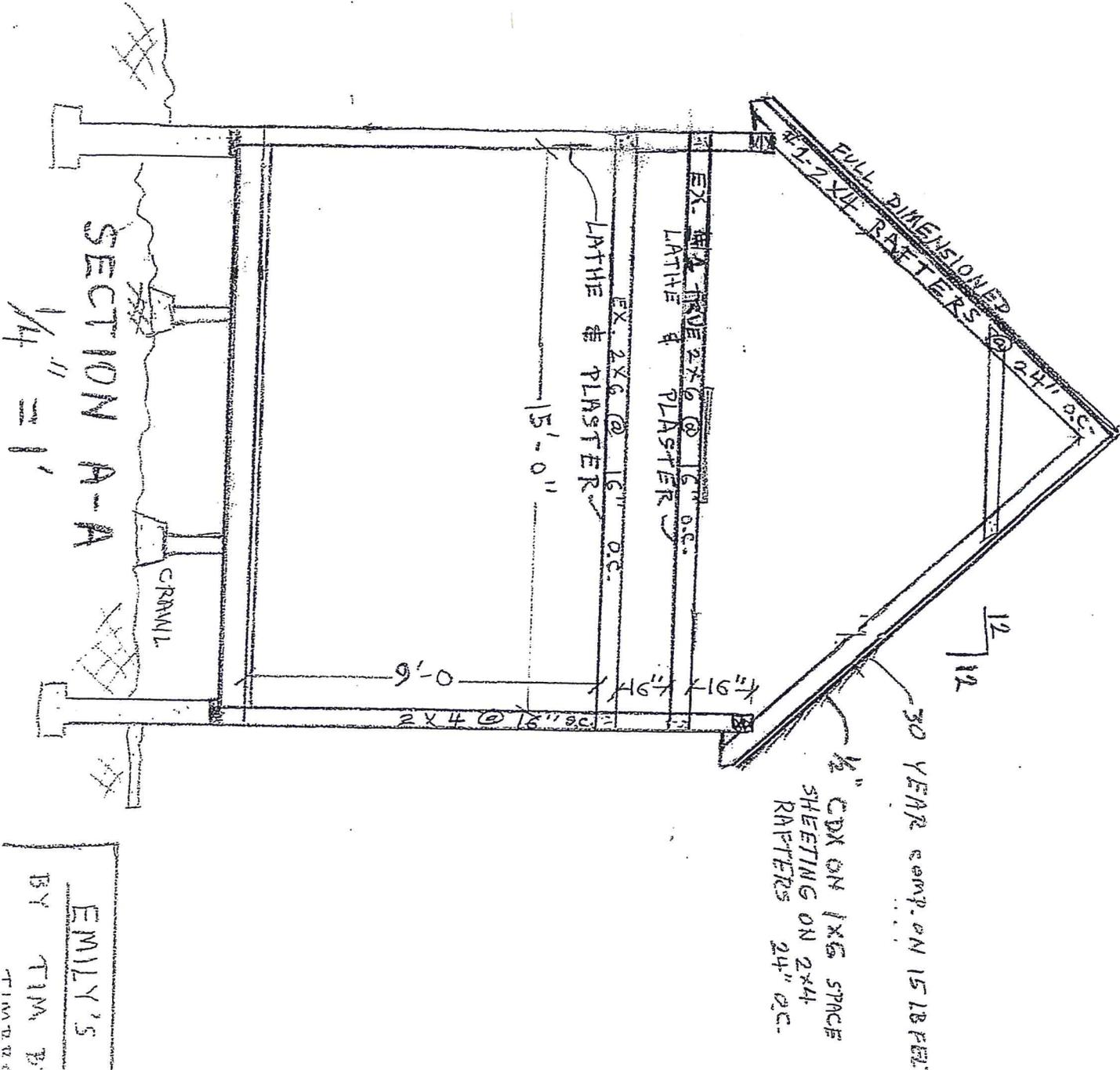


SECTION B  
1/4" = 1'  
NEW JOISTS & FLOOR

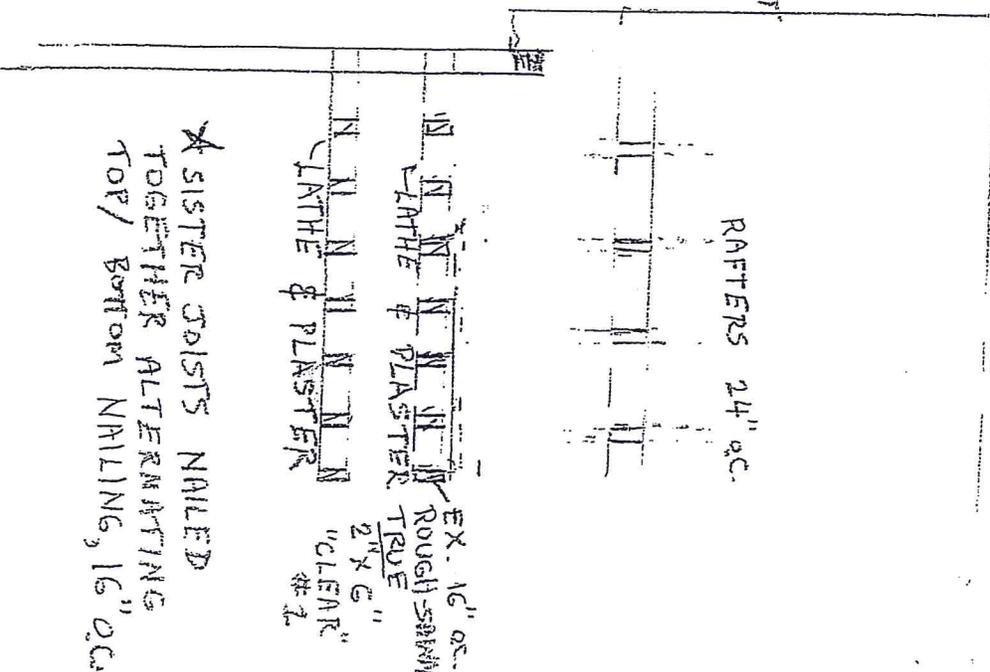
EMILY'S ATTIC REMODEL  
BY TIM BRIZENDINE 503-348-5653  
TIMBRIZENDINE@GMAIL.COM

\* SISTER JOISTS NAILED TOGETHER ALTERNATING 16\"/>

\* NEW JOISTS - SISTERED. (2x8 PLY FLOOR EX. 16\"/>

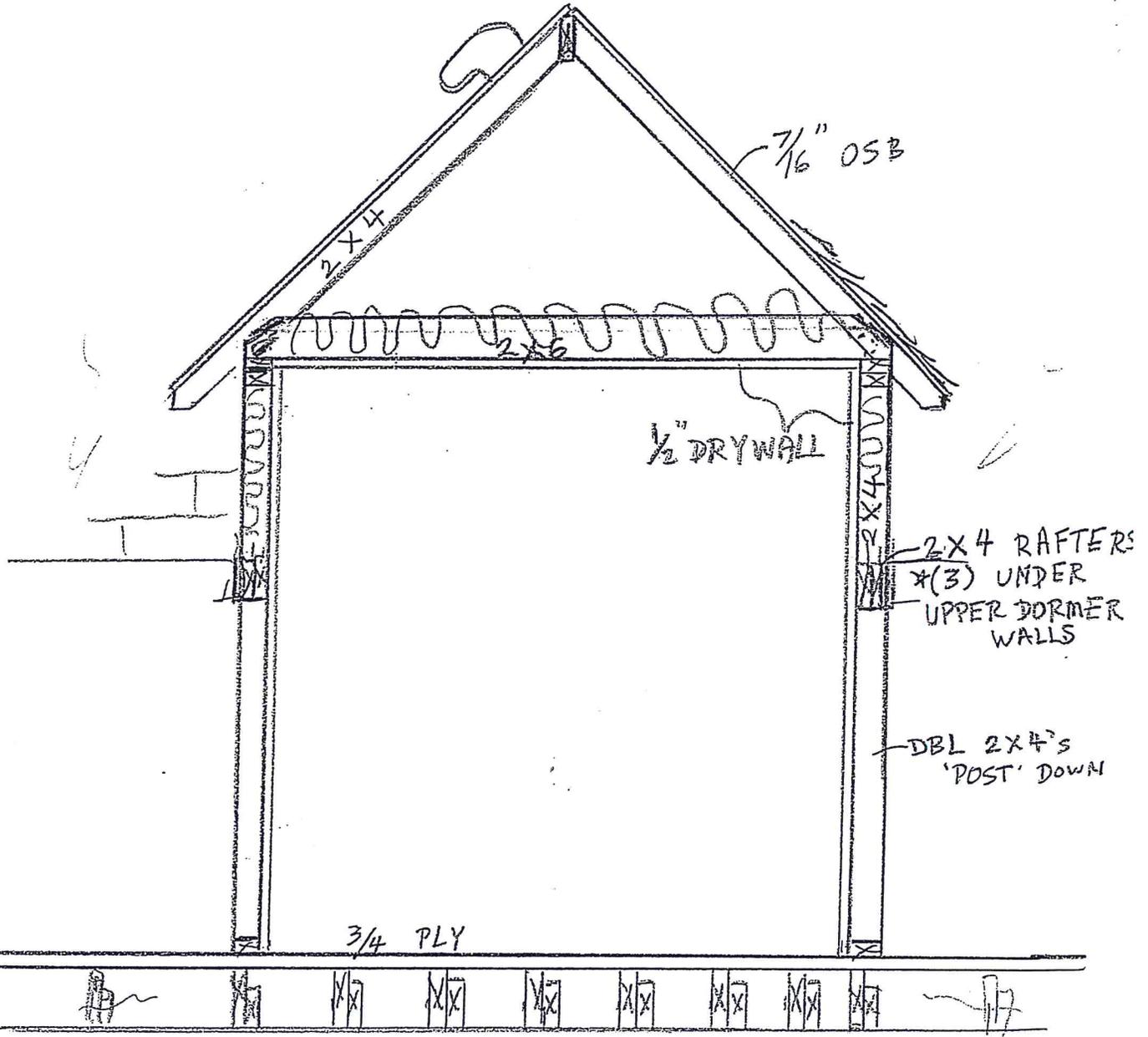


30 YEAR comp. on 15 LB FEET  
 1/2" CDX ON 1X6 SPACE SHEETING ON 2X4 RAFTERS 24" OC.



\*SISTER JOISTS NAILED TOGETHER ALTERNATING TOP/ BOTTOM NAILING, 16" OC.

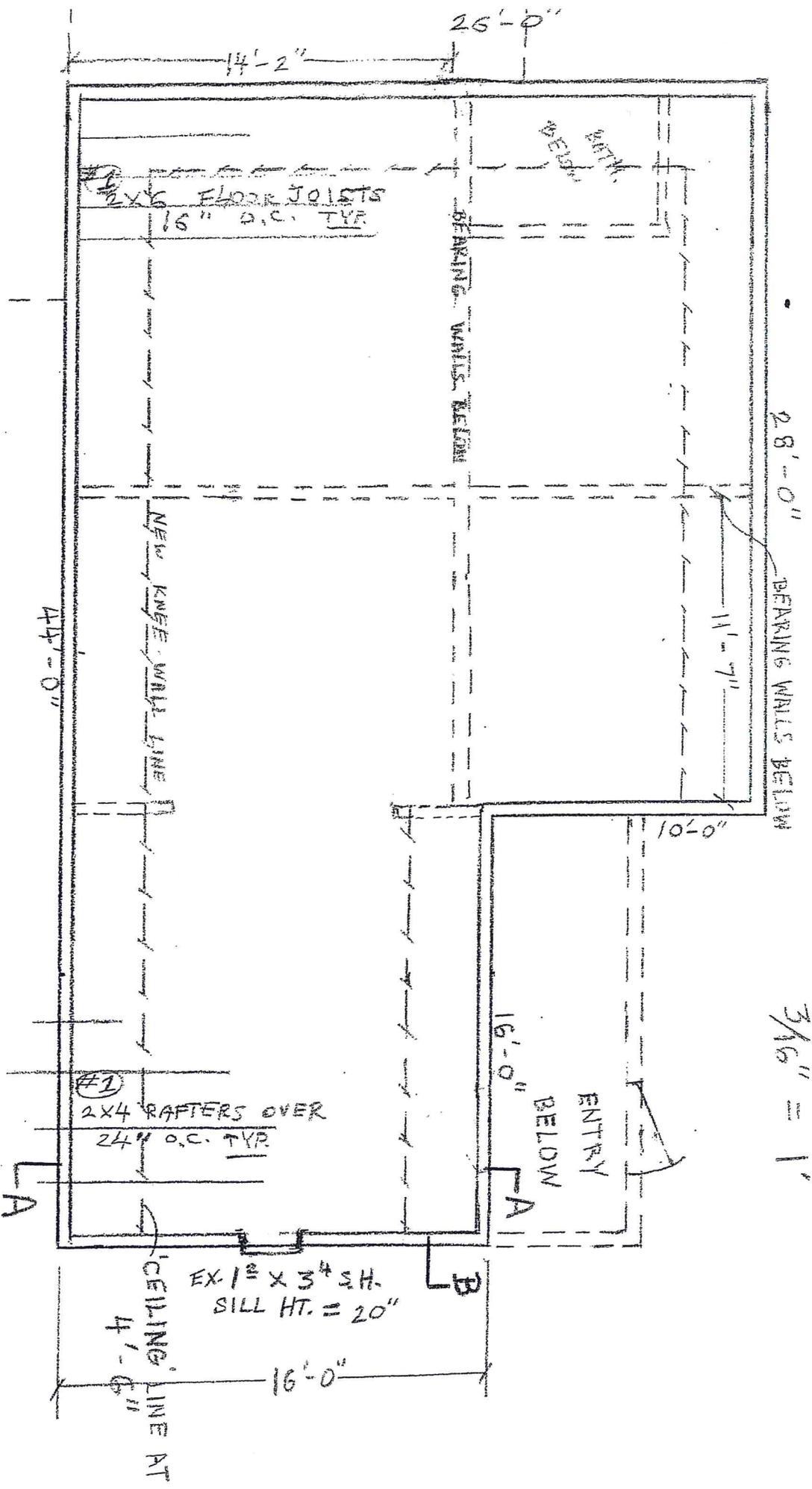
EMILY'S ATTIC REMODEL  
 BY TIM BRZENJINE 503-348-5053  
 TIMBRZENJINE.COM



CROSS SECTION C-C  
 DORMERS  
 1/2" = 1'

EXISTING

EMILY'S ATTIC REMODEL



3/16" = 1'

EMILY'S HOUSE  
 435 EXCHANGE STREET  
 ASTORIA, OR 97103  
 BY TIM BRIZENDINE 503-348-5653  
 TIMBRIZENDINE@GMAIL.COM

PLS  
 REPLACE  
 W/T HIS PK  
 ON MY PLA

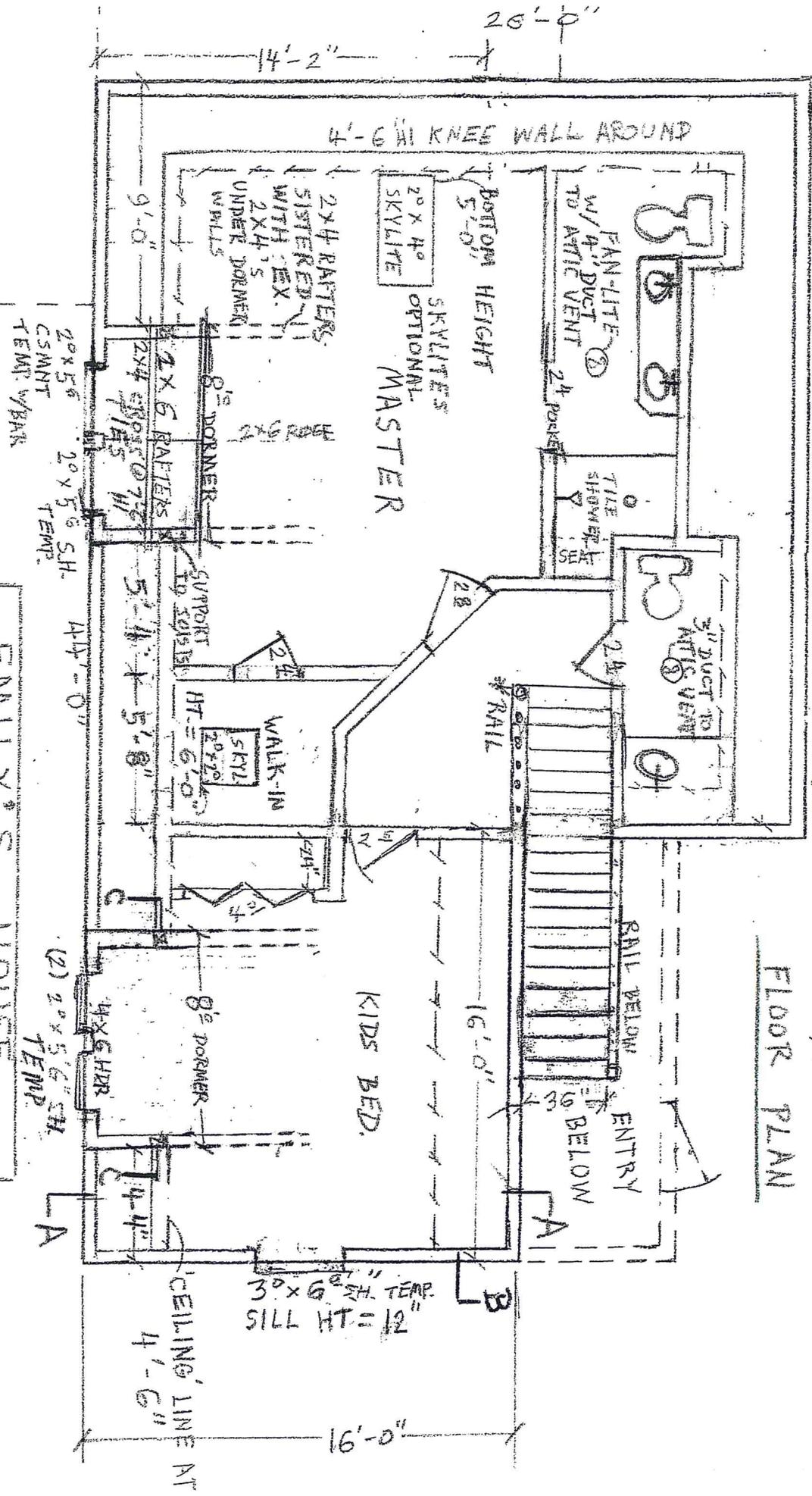
NEW

EMILY'S ATTIC REMODEL

28'-0"

3/16" = 1'

FLOOR PLAN



EMILY'S HOUSE  
 A35 EXCHANGE STREET  
 ASTORIA, OR 97103  
 BY TIM BRZENLINE 503-348-5653  
 TIM BRZENLINE @ GMAIL.COM

CITY OF ASTORIA  
 MAY 18 RECD  
 BUILDING CODES

## STAFF REPORT AND FINDINGS OF FACT

June 15, 2016

TO: HISTORIC LANDMARKS COMMISSION

FROM: NANCY FERBER, PLANNER *Nancy Ferber*

SUBJECT: NEW CONSTRUCTION REQUEST (NC16-03) BY PETER NEVINS TO  
CONSTRUCT A 10" x 10' STUDIO OUTBUILDING AT 1233 GRAND AVE

### I. BACKGROUND SUMMARY

- A. Applicant: Peter Nevins  
1233 Grand Ave  
Astoria OR 97103
- B. Owner: Richard Bracke and Peter Nevins  
1233 Grand Ave  
Astoria OR 97103
- C. Location: 1233 Grand Ave; Map T8N R9W Section 8CD, Tax Lot 4100; Lot 8  
and west 25' of lot 7, Block 69, McClure's, slide zone
- D. Classification: Historic Non-Contributing McClure National Register Historic  
District, adjacent to contributing homes
- E. Proposal: To construct a 10 x 10' studio outbuilding in side yard west of the  
house.
- F. Zone: R-3 (High Density Residential)
- G. Previous  
Applications: Previous owner constructed a front porch, was granted a  
variance V07-03 for 1'  
setback in front yard

### II. BACKGROUND

The single family dwelling is a two story structure with front facing gable asphalt roof. It was built in c. 1905 and is a Culture Vernacular style. There have been a number of alterations, it is a non-contributing home in the McClure's addition. Exterior



alterations have included wood shingles applied over clapboard siding, a recessed porch enclosed with siding and single-light aluminum sliding window; single-light sliding window installed on the second floor, and an addition on the south elevation. The house is located on the south side of Grand Ave with a side yard on the corner of 12<sup>th</sup> and Grand. The lot is 87.5' deep by 75' wide, total area is 6,562 square feet.

The proposal is to construct a 10' x 10' shed to be used as an art studio situated in the side yard between the parking area and house.



Identifying features of this vernacular style relative to this request include: use of wood shingle siding, light wood structural framing, one over one double hung windows, and eave returns.

#### B. Adjacent Neighborhood and Historic Property

This single family dwelling was used as a rental property throughout the historic period of the neighborhood. The house was one of four identical houses constructed in a row along Grand Avenue, of which three still exist. The site is a larger than standard lot and has a large side yard to the west. The residential neighborhood is a mixture of single-family and multi-family dwellings. Lot sizes and setbacks vary creating an irregular streetscape with most buildings close to one or more of the property lines. The three historic homes on the 14th Street right-of-way are positioned similarly on the lots with similar front setbacks.



- 1) **1264 Grand**  
Secondary contributing bungalow in McClure National Register Historic District c. 1917 designed by local architect John Wicks. Notable cobblestone exterior, chimney and porch column piers; eave brackets; gable dormers; second story box bay.



- 2) **1244 Grand**  
Primary contributing bungalow in McClure National Register Historic District c. 1917 designed by local architect John Wicks. One of five matching bungalows on Grand Ave (1242, 1244, 1606, 1614, 1626)



- 3) **1188 Harrison**  
Primary contributing Craftsman style single family dwelling designed by local architect John Wicks. C.1906 Includes hip dormers with diamond pane windows; eave brackets; turned doric porch columns; oriel window and enclosed front porch.



- 4) **1193 Harrison**  
Secondary Norman Farmhouse in McClure National Register Historic District, c. 1922 Clipped gable-ends, shallow boxed eaves; eave returns; gable wall dormer, shallow balcony with iron rail, light arched wood door, fluted pilasters at entry with applied ornament over door, and 4-panel door with 4-lights



### III. PUBLIC REVIEW AND COMMENT

A public notice was mailed to all property owners within 100 feet pursuant to Section 9.020 on May 27, 2016. A notice of public hearing was published in the *Daily Astorian* on June 14, 2016. Comments received will be made available at the Historic Landmarks Commission meeting.

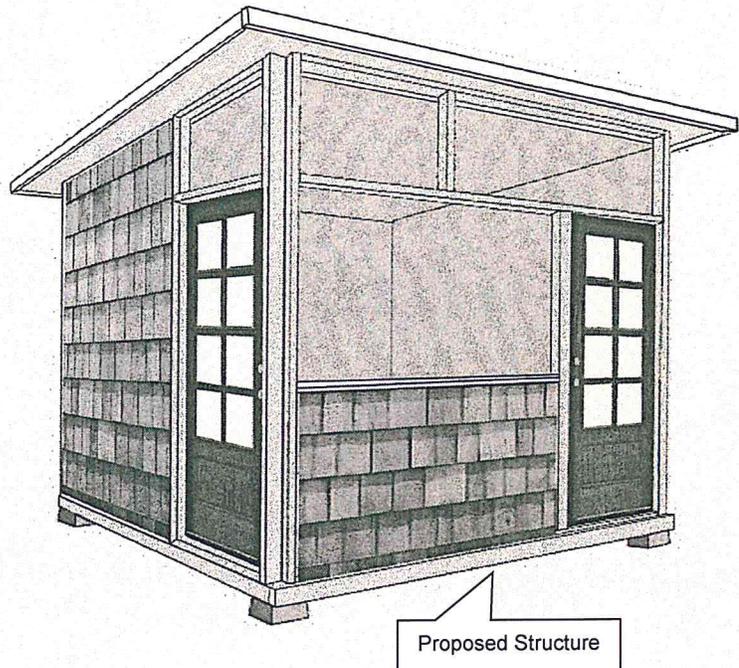
### IV. APPLICABLE REVIEW CRITERIA AND FINDINGS OF FACT

- A. Development Code Section 6.070(A) states that “no person, corporation, or other entity shall construct a new structure adjacent to or across a public right-of-way from a Historic Landmark or a structure identified as Primary or Secondary, without first obtaining a Certificate of Appropriateness from the Historic Landmarks Commission.”

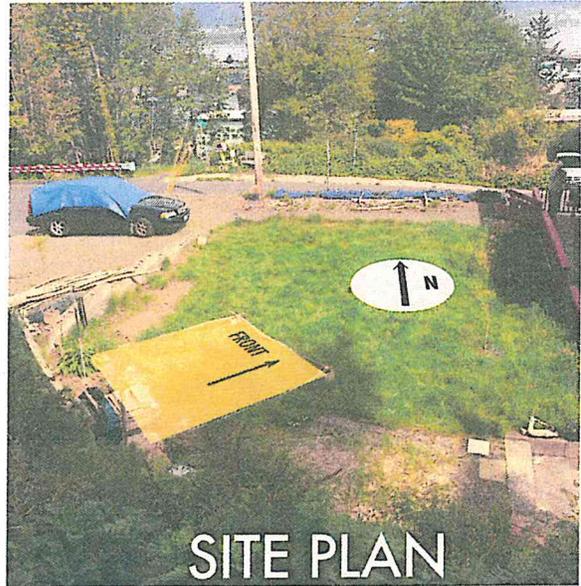
Finding: The structure is proposed to be located adjacent to structure(s) designated as historic in the McClure National Register Historic District. The proposed structure shall be reviewed by the Historic Landmarks Commission.

- B. Development Code Section 6.070(B.1) states that “In reviewing the request, the Historic Landmarks Commission shall consider and weigh the following criteria: The design of the proposed structure is compatible with the design of adjacent historic structures considering scale, style, height, architectural detail and materials.”

Finding: The proposed structure would be a 10' x 10' outbuilding with some additional enhancements prefabricated from 'Ready Made' plans. It is a square structure with one door opening into the yard and the second door opening towards the house. The applicant has plans to install a fence around the structure and garden area in hopes of keeping the deer out of his garden. Fences and landscaping features are not reviewed by the HLC.



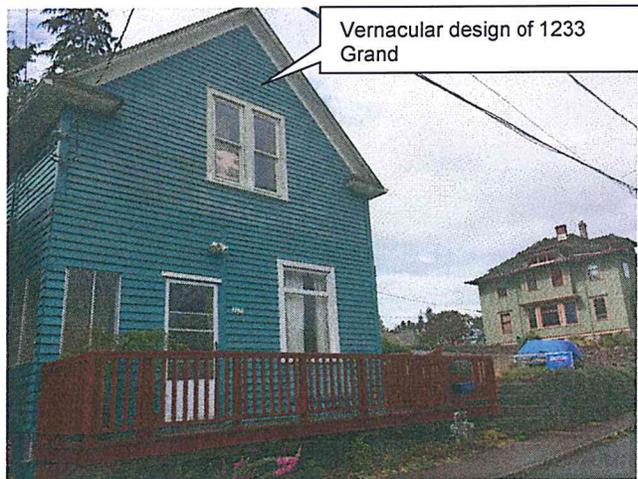
Other adjacent historic structures are a variety of styles including Craftsman, Vernacular, Farmhouse and Bungalows. Since the studio structure would be associated with the Vernacular home, it would be appropriate for the building to first reflect compatibility with the design of that structure rather than the other adjacent historic structures. The adjacent historic structures provide a mixture of styles and designs. Reflecting each distinct style would prove challenging and would appear as an inconsistent display of styles.



The proposed structure would be in scale with the existing single family dwelling and neighboring homes. The structure (100 square feet) would be in scale with the square footage of the main structure which has a current footprint of approximately 1,200 square feet. The total lot coverage would have minimal increase from approximately 18% to 19%, which remains below the maximum coverage allowed in R-3 of 50%

At its highest point, the roof is at 9' tall, and slopes down to 7.6' to allow for drainage. The wood shingles will be similar to surrounding single family dwellings and not out of character for the historic neighborhood.

Since this is new construction, the design of all features does not need to be as specific as on an exterior alteration of a historic structure. Applying shingles and trim will add to the character of the structure and is compatible with the vernacular style of the single family dwelling.



The proposed structure is compatible in scale, style, height and architectural detail with the existing historic house.

- C. Development Code Section 6.070 (B.2) states that "In reviewing the request, the Historic Landmarks Commission shall consider and weigh the following criteria: The location and orientation of the new structure on the site is consistent with the typical location and orientation of adjacent structures considering setbacks,

distances between structures, location of entrances and similar siting considerations.”

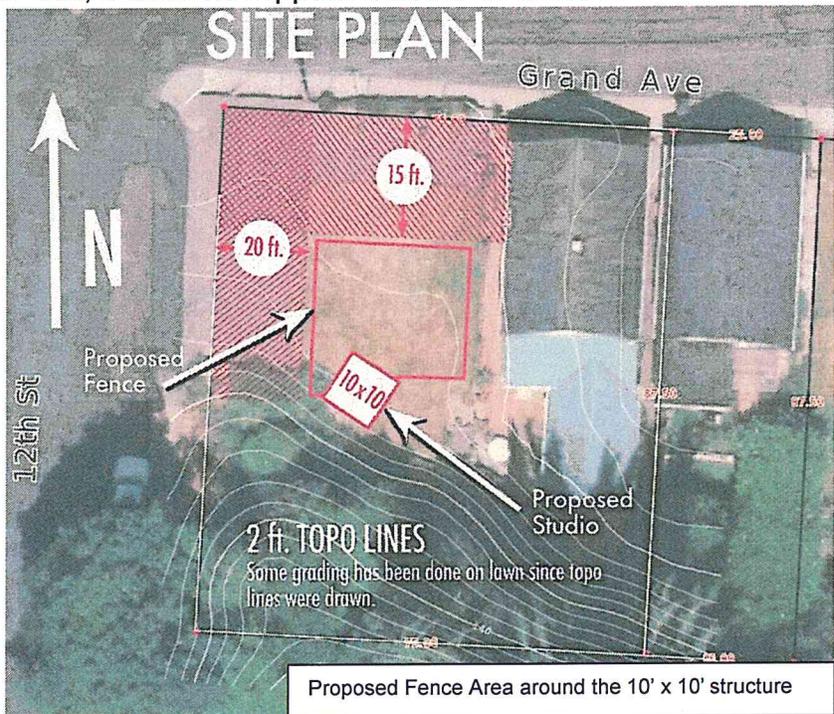
**Finding:** The lot is a rectangular shape. Structures in this neighborhood are built at various locations on the lots creating an irregular building pattern. Positioning a shed or outbuilding in a side yard is not unusual and is a common method to maintain privacy. The structure is proposed to be within the required footprint to meet setbacks for the R-3 zone. The diagram shows a proposed fence in relation to the structure. The required side yard setback for a corner lot is 15’ and the required rear yard setback is 5’. The proposed fence will need to meet the required 20’ minimum front yard requirement.

The Assistant City Engineer has noted that the property is located within a known slide area. Based on the plans submitted, description of the proposed construction by the owner and a site visit, it does not appear that minor alteration of

landscaping to accommodate the structure will require a Grading and Erosion Control Permit. If the scope of work changes, it will be the owners responsibility to review the Grading and Erosion requirements and apply for the permit if needed.

Any changes in the location of the building shall be reviewed and approved by the Planner prior to issuance of a building permit.

The house is located very close to the adjacent home to the east, siting the structure on the west side of the property is a reasonable underutilized area to develop on the site and fits within the required setbacks for the R-3 zone.



In balance, the location and orientation of the new structure on the site is consistent with the typical location and orientation of adjacent structures considering setbacks, distances between structures and location of entrances.

## **V. CONCLUSION AND RECOMMENDATION**

The request, in balance, meets the applicable review criteria. Staff recommends approval of the request with the following conditions:

1. Significant changes or modifications to the proposed plans as described in this Staff Report shall be reviewed by the Historic Landmarks Commission.
2. If the scope of work changes, the applicant shall obtain a grading and erosion control permit from Public Works staff.
3. The applicant shall submit for any necessary electrical permits to Clatsop County.
4. If the studio intends to be used for a business operation, and/or customers come to the site, the applicant shall submit for a Class B Home Occupation permit from the Community Development Department as well as an Occupational Tax Application for the business.
5. If the proposed fence is over 4' tall, it shall meet the required 20' minimum front yard requirement for the R-3 zone.

The applicant should be aware of the following requirements:

The applicant shall obtain all necessary City and building permits prior to the start of construction.



CITY OF ASTORIA  
Founded 1811 • Incorporated 1856

COMMUNITY DEVELOPMENT

NC ~~10003~~ 16-03

FEE: \$100.00 <sup>paid G/1</sup> NF

**NEW CONSTRUCTION (ADJACENT TO HISTORIC PROPERTY)**

Property Location: Address: 1233 GRAND AVE

Lot 8 & WEST 25' OF 7 Block 69 Subdivision McClures

Map 80908CD Tax Lot 4100 Zone R-3  
*a Slide zone*

<b>For office use only:</b>			
Adjacent Property Address:			
Classification:		Inventory Area:	

Applicant Name: PETER NEVINS

Mailing Address: 1233 GRAND AVE

Phone: 503 440 8477 Business Phone: — Email: nevins.peter@gmail.com

Property Owner's Name: PETER NEVINS AND RICHARD BRACKE

Mailing Address: SAME

Business Name (if applicable): \_\_\_\_\_

Signature of Applicant: Peter Nevins

Signature of Property Owner: Pete Nevin R. Bracke

Proposed Construction: 10' x 10' studio outbuilding

To construct a 10x10 studio outbuilding on property adjacent to historic homes

<b>For office use only:</b>			
Application Complete:	<u>Pending G/1 pre-app ✓</u>	Permit Info Into D-Base:	<u>5/20/16</u>
Labels Prepared:	<u>5/26/16</u>	Tentative HLC Meeting Date:	<u>5:15 6/21/16</u>
120 Days:			

**FILING INFORMATION:** Historic Landmarks Commission meets at 5:15 pm on the third Tuesday of each month. Completed applications must be received by the 13th of the month to be on the next month's agenda. A pre-application meeting with the Planner is required prior to the acceptance of the application as complete. Only complete applications will be scheduled on the agenda. Your attendance at the Historic Landmarks Commission meeting is recommended. Forms also available on City website at [www.astoria.or.us](http://www.astoria.or.us).

Briefly address each of the New Construction Criteria and state why this request should be approved. (Use additional sheets if necessary.):

1. The design of the proposed structure is compatible with the design of adjacent historic structures considering scale, style, height, architectural detail and materials.

WE'VE FOUND A SIMPLE DESIGN AND ENHANCED IT WITH  
VINTAGE (OR VINTAGE-STYLE) WINDOWS AND DOORS. IT WILL  
BE SHINGLED, AND TRIMMED WITH A NOD TO ARTS AND  
CRAFTS ERA CONSTRUCTION.

2. The location and orientation of the new structure on the site is consistent with the typical location and orientation of adjacent structures considering setbacks, distances between structures, location of entrances and similar siting considerations.

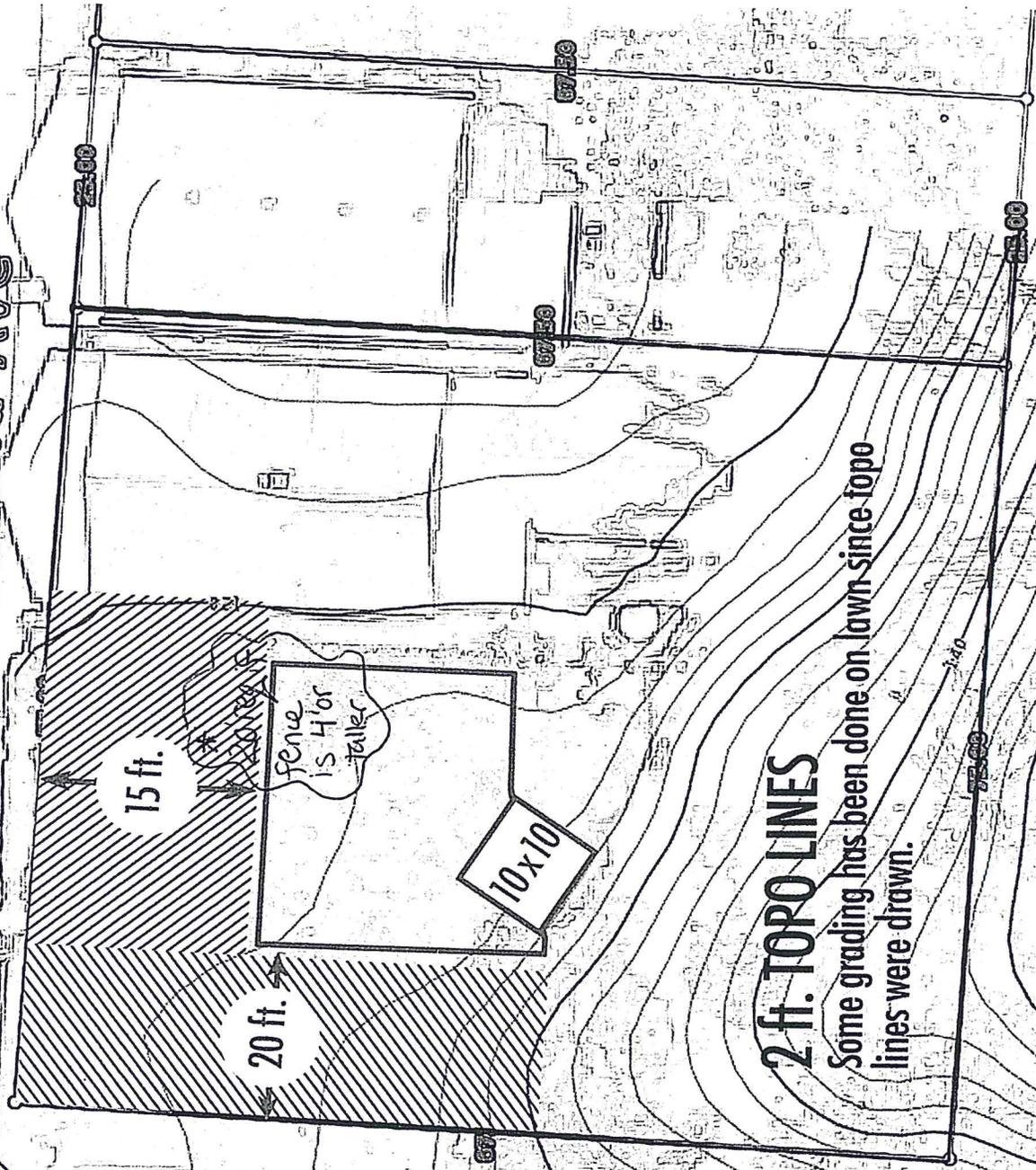
WE'VE TRIED TO MAKE THE MOST OF THE LAND, WITH ALL  
SETBACKS IN MIND. IT WILL WORK IN CONCERT WITH  
THE PROPOSED FENCE CONSTRUCTION: ONE DOOR INTO THE  
ENCLOSED YARD (NOT THE ONLY WAY IN!) AND ONE DOOR TOWARDS  
OUR HOUSE.

**PLANS:** A site plan indicating location of the proposed structure on the property is required. Diagrams showing the proposed construction indicating style and type of materials proposed to be used. Scaled free-hand drawings are acceptable. The City may be able to provide some historic technical assistance on your proposal.

# SITE PLAN

Grand Ave

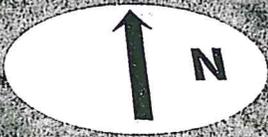
12th St



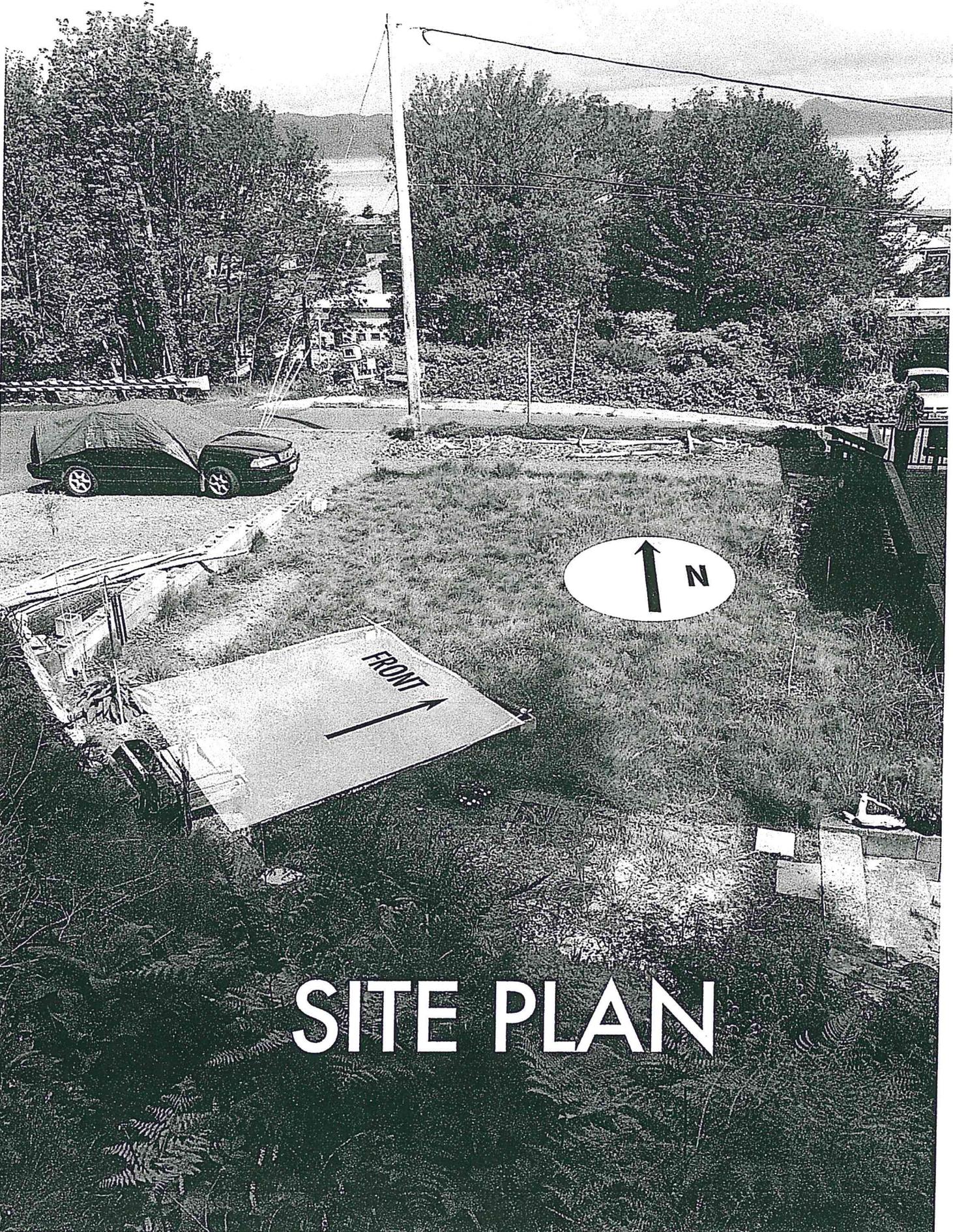
2 ft. TOPO LINES

Some grading has been done on lawn since topo lines were drawn.

# SITE PLAN



FRONT



# BYC

BUILD YOUR OWN

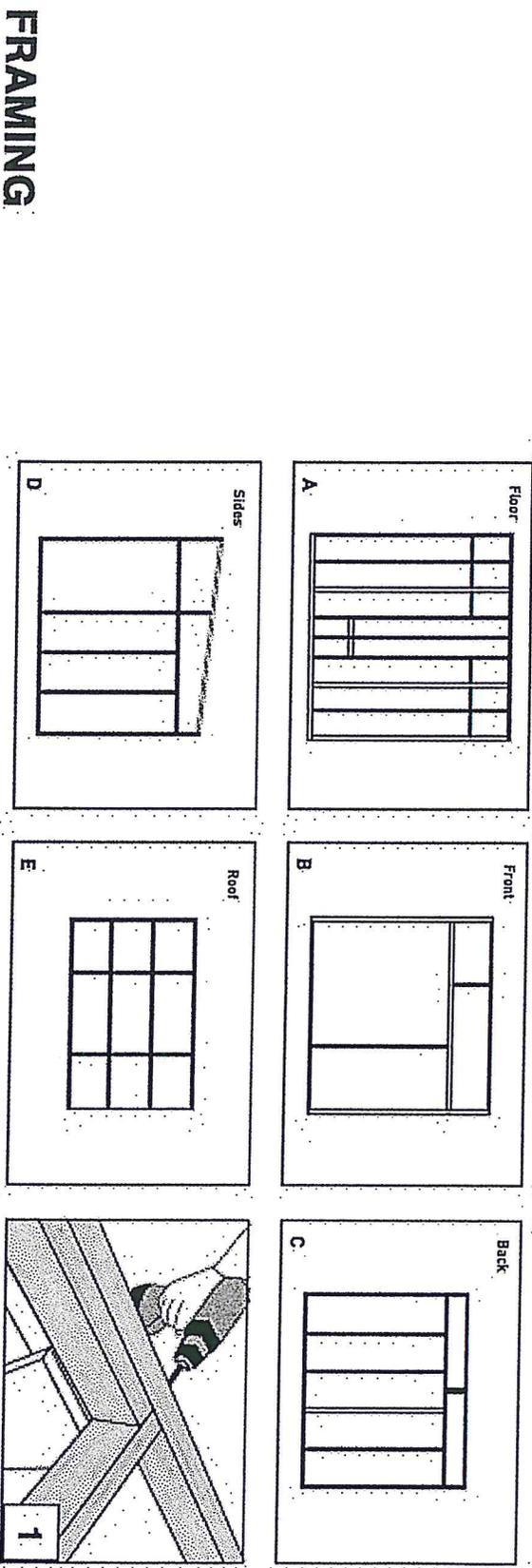
## MODULAR 100 DWELLING

Designed by Edgar Blazona

10 X10 MODULAR DWELLING

### INGREDIENTS:

- 1/2" square studs, 16' long
- 1/2" square studs, 8' long
- 1/2" square studs, 4' long
- 1/2" square studs, 2' long
- 1/2" square studs, 1' long
- 1/2" square studs, 6" long
- 1/2" square studs, 3" long
- 1/2" square studs, 1 1/2" long
- 1/2" square studs, 3/4" long
- 1/2" square studs, 1/2" long
- 1/2" square studs, 1/4" long
- 1/2" square studs, 1/8" long
- 1/2" square studs, 1/16" long
- 1/2" square studs, 1/32" long
- 1/2" square studs, 1/64" long
- 1/2" square studs, 1/128" long
- 1/2" square studs, 1/256" long
- 1/2" square studs, 1/512" long
- 1/2" square studs, 1/1024" long
- 1/2" square studs, 1/2048" long
- 1/2" square studs, 1/4096" long
- 1/2" square studs, 1/8192" long
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- 1/2" square studs, 1/1053122



# FRAMING

The first step in building your MD100 is to assemble the four walls, the floor, and the roof frame.

Floor frame (all wood is 2" x 4"):

- 2 120" lengths
- 9 117" lengths
- 2 107" lengths
- 6 14 1/2" lengths

**Tip:** If you're cutting the wood yourself, use a chop saw for all the pieces except the 107" lengths. Note that only two of the nine 117" lengths will be exposed when the building is done, making this a good place to use the wood that has dings or is not quite as pretty as the rest.

Diagram A:

Set out four sawhorses in a 10' square on a level surface. Use the 3" square-drive deck screws to assemble the two 120" pieces with two 117" pieces to make a 10' square. Use screws on exposed areas to help prevent rusting. Assemble the rest of the floor joist pieces of 14 1/2" blocking from the outside in. This blocking will be used to screw down the

**Tip:** You can use the 14 1/2" pieces to achieve the correct spacing in the floor joist work from the outside in, leaving two 107" spaces in the center.

plywood floor later. Check the remaining blocking dimensions for exact size, about 10 1/2", depending on wood thickness). Cut the blocking to the correct size and install. The plywood floor panels will be laid down when the building is erected.

Front frame (all wood is 2" x 4"):

- 2 108" lengths
- 3 110" lengths
- 1 80 1/2" length
- 1 23 1/2" length

**Tip:** Use the straightest and least-damaged wood for the front wall. Make sure all lumber markings are hidden from view.

**Diagram B:** Use the deck screws to assemble the outside rectangle with two 110" and the two 108" pieces. Assemble the inside portion starting with the remaining 110" horizontal piece.

(Use the 80 1/2" piece as a guide to determine where to screw in the 110" horizontal piece.) Now screw in the 80 1/2" piece in the correct location to create the entryway, which must be perfectly square. To install the door, screw in the remaining 23 1/2" piece. Note that this opening is the same width as the door opening.

Back frame (all wood is 2" x 4"):

- 2 96" lengths
- 3 110" lengths
- 4 80 1/2" lengths
- 2 11 1/2" lengths

**Diagram C:** Assemble the outside rectangle using two 110" and 96" pieces. Lumber markings should face in. Screw in the remaining 110" horizontal piece using an 80 1/2" piece as your guide. Now screw in the 80 1/2" pieces. Cut two

scrap pieces of wood at 20 1/2" to use as a guide between the studs. Working from the outside in, alternate from side to side. The center dimension will be slightly different. Screw in the two 11 1/2" pieces at the center of the opening.

Side frames (all wood is 2" x 4"):

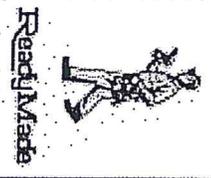
- 2 113 1/4" lengths
- 2 96" lengths
- 2 108" lengths
- 4 113" lengths
- 6 80 1/2" lengths
- 2 18 1/2" lengths

**Diagram D:** The directions for assembling the right and left sides are the same. If you're cutting your own wood, cut all pieces except the 113 1/4" for both right and left sides. Screw the 96" and the 108" pieces to the 113" piece to make a "U" shape. Attach the remaining 113 1/4" horizontal piece using the 80 1/2" lengths as guides to determine the exact positioning. Screw in the 80 1/2" pieces starting at the back (Fig. 1). Cut two scrap pieces

of wood at 22 1/2" to use as guides between the studs. Measure and cut the angled horizontal piece (113 1/4"). Now screw it in. Cut the 18 1/2" piece with one 8 1/2" angle cut. Fit into place and screw together from the top on the side that will not have fleckings. Installed so the screws won't show through.

**Roof frame** (If using 1/2" wall paneling or Sheetrock, use those dimensions):  
2 73 1/2" lengths  
4 112" lengths (If not covering walls with sheetrock or paneling, use 4 113" lengths instead).  
6 22 1/2" lengths

**Diagram E:** Screw the two 73 1/2" pieces to the outside 112" horizontal pieces to create a rectangle. Screw in the two remaining 112" pieces using the 22 1/2" pieces as spacers, then screw in the 6 22 1/2" pieces.



# WINDOW FRAMING AND CONCRETE FOUNDATION

- Plexiglas full 1/2" thick  
 1 40 1/2" x 80" (side)  
 2 35 1/2" x 80" (front)  
 1 22 1/2" x 36" (top front)  
 1 71 1/2" x 22 1/2" (top front)  
 1 40 1/2" x 18 1/2" x 40 1/2" x 22 1/2" (trapezoid)

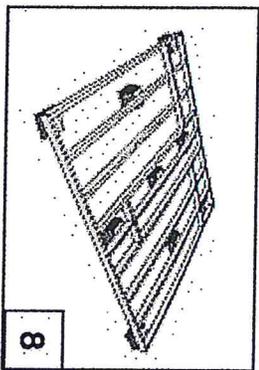
Wood stops for windows and door (all 1" x 2")

- Window stops:  
 8 80 1/2"  
 4 34 1/2"  
 6 39 1/2"  
 4 70 1/2"  
 2 18 1/2"  
 2 22 1/2"  
 2 39 1/2"  
 2 80 1/2"  
 1 34 1/2"

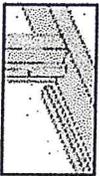
**Tip:** Using tempered glass instead of Plexiglas is an elegant and safer, resistant alternative. But be warned: it'll cost you.

Cut all the Plexiglas stops to the correct size. [Set the chop saw to 84° for the trapezoidal glass stops]. Place the front wall facemount on the sawhorses. Installing one piece at a time, apply a 1/2" bead of clear silicone to the Plexiglas stop. Screw in the wood stops 1/2" down from the edge of the 2" x 4's. [At this point you will be installing only one excess silicone with a damp rag and remove the front wall from the sawhorses. Place the side that will have the trapezoidal piece of Plexiglas on the sawhorses. Install stops as above.]

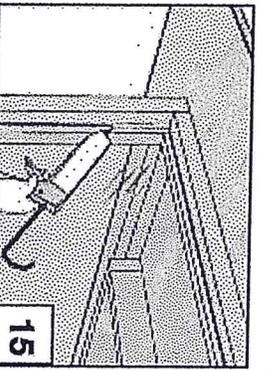
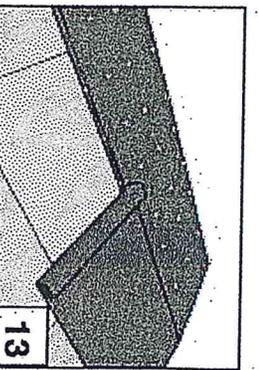
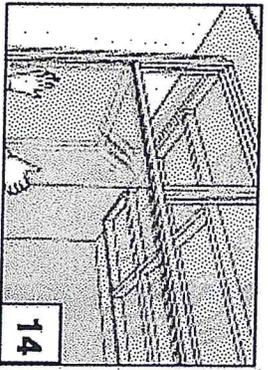
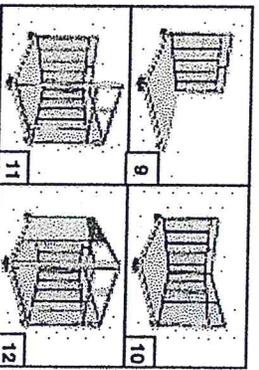
**Concrete piers:** Place the nine piers on level ground. [To level the ground, build up dirt below the piers, compacting it as much as possible.] Use a level and a string line between the piers to make sure they're on the same plane. If not, the building will be out of square, making it very tricky to install the door and windows.



Installing wood stops for the Plexiglas



## ASSEMBLING THE STRUCTURE AND ROOFING



**Floor:** Place the floor frame on the level piers [Fig. 8]. If the piers have settled beyond level, use shims to set it straight. Place the plywood floor pieces on the frame, slugging the panels. Screw down the plywood to the frame using the self-countersinking wood screws.

**Walls:** Lift the back wall into place and make sure it's against the back edge of the plywood [Fig. 9]. Slide the wall to the right until it is 3 1/2" from the right edge. Secure the wall to the floor using two screws every 12" to 16". Have friends hold up the back wall while others carry in the right wall and lift it into place, sliding it back until the vertical 2" x 4's of each wall overlap [Fig. 10]. Screw the two walls together using the 3" deck screws. Screw the wall to the floor as above. Lift the front wall into place. Slide it to the right wall, making sure the walls overlap. Screw the two walls together [Fig. 11]. Now screw the wall to the floor. Erect the remaining left wall [Fig. 12]. Screw the back wall and the front wall to the left wall. Screw the left wall to the floor.

**Interior paneling:** Want to cover up the framed walls with paneling or Sheetrock? Now's the time. We added insulation and used 1/2" particleboard to cover the interior walls.

**Roof:** Lift the roof frame into place. Line up

the front 2" x 4's of the roof frame with the vertical 2" x 4's at the right and left walls. Screw the roof frame to the right and left walls using the 3" deck screws every 6". Now lift the plywood into place. Use the 1 1/2" self-countersinking screws to attach the plywood to the roof frame and the walls. Climb up and roll out the first sheet of roofing from the bottom up to prevent water from seeping underneath. Using a carpenter's knife, trim the edges of the asphalt flush to the edge.

Nail the asphalt edges every 12" and the field every 18". Apply the tar caulking across the edge. Roll out the second sheet of asphalt [Fig. 13]. Nail it down around the edges. Continue rolling out sheets and nailing them down until the roof is covered. Starting in one corner, lay down a 1/2" bead of roofing tar along the edge of the asphalt. Nail down the drip edging with the 1/2" roofing nails. [It comes in 10' sections; use tin snips to cut four 30" pieces.] Nail down all remaining edging.

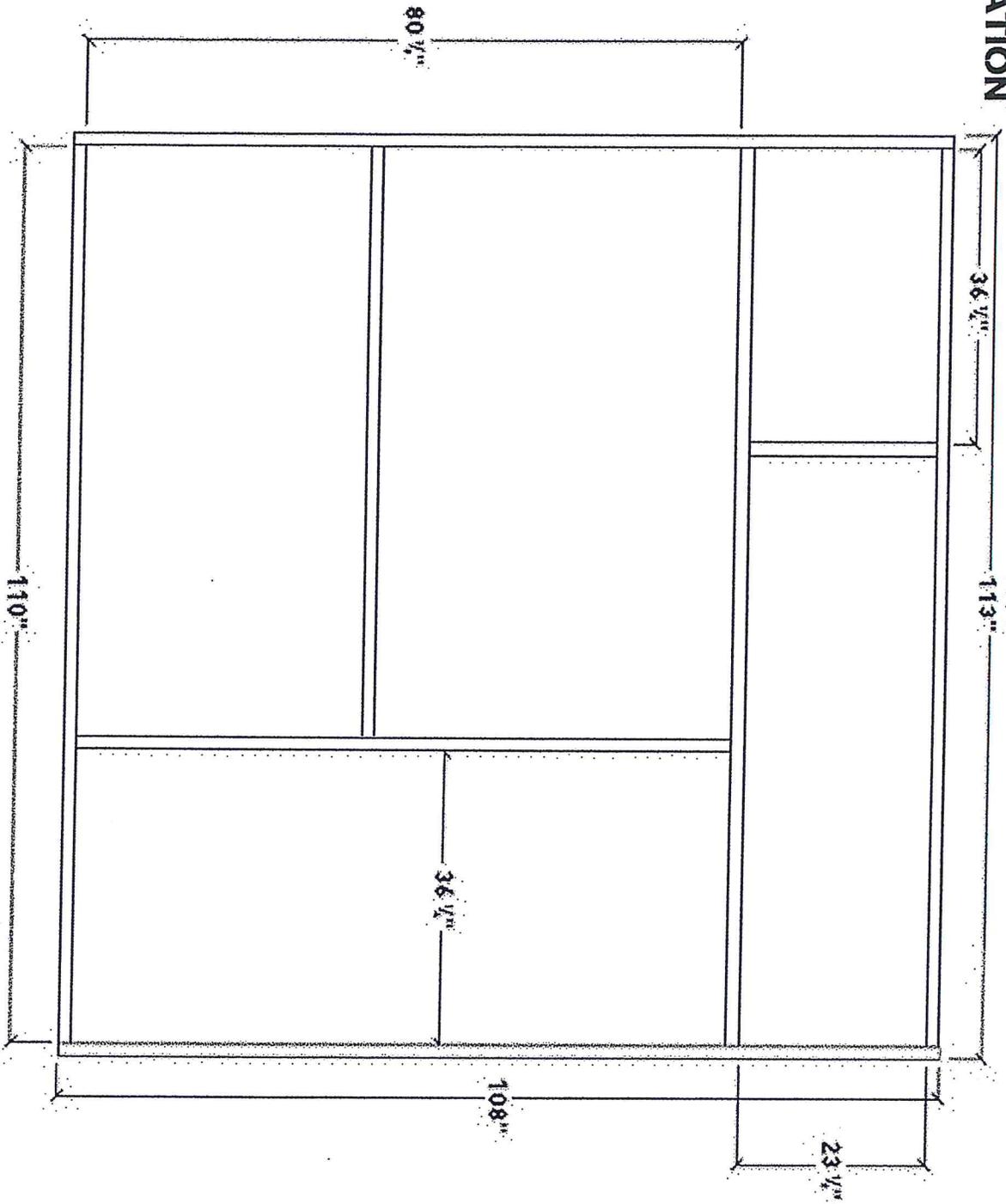
**Installing the Plexiglas:** Start with the largest front window. Lay down a 1/2" bead of silicone against the Plexiglas stops. Set the glass into place [Fig. 14]. There should be no more than a 1/2" gap between the two front windows. Sheets of glass. Once in place, lay down another 1/2" bead against the glass. Now lay down a 1/2" bead of silicone on the remaining

Plexiglas stop and screw into place. Wipe away any excess silicone with a damp rag. Continue the steps above for all remaining Plexiglas sheets [Fig. 15]. Fill the slight gap between the two large sheets with silicone by running tape along both sides of the seam on each side of the glass, filling the gap, then wiping off any excess. Remove the tape and let dry.

**Installing the door:** Cut all 3 doorstops. If the hinges aren't pre-installed, recess each hinge 10" (measure from the center) from the top and bottom of the door. Place the hinged door in the doorway. It should swing in and the hinges should attach to the 2" x 4's next to the right wall. Use shims under the door to raise it above the floor by about 1/2". Mark the place where the hinges will be screwed in. Remove the door and the frame side of the hinge. Use a chisel to recess the hinge so it's flush with the 2" x 4's. Now install the door knob. When the door is in place and closed, install the remaining doorstops, as above. Be sure the stops rest against the door when closed.

**Exterior finishing:** Apply two coats of Man O' War varnish to all exposed wood for durability. Interior painting: Choose any color combo and paint the interior walls. Stand back and admire your shack!

**FRONT  
ELEVATION**



PAGE  
**5**

DRAWING  
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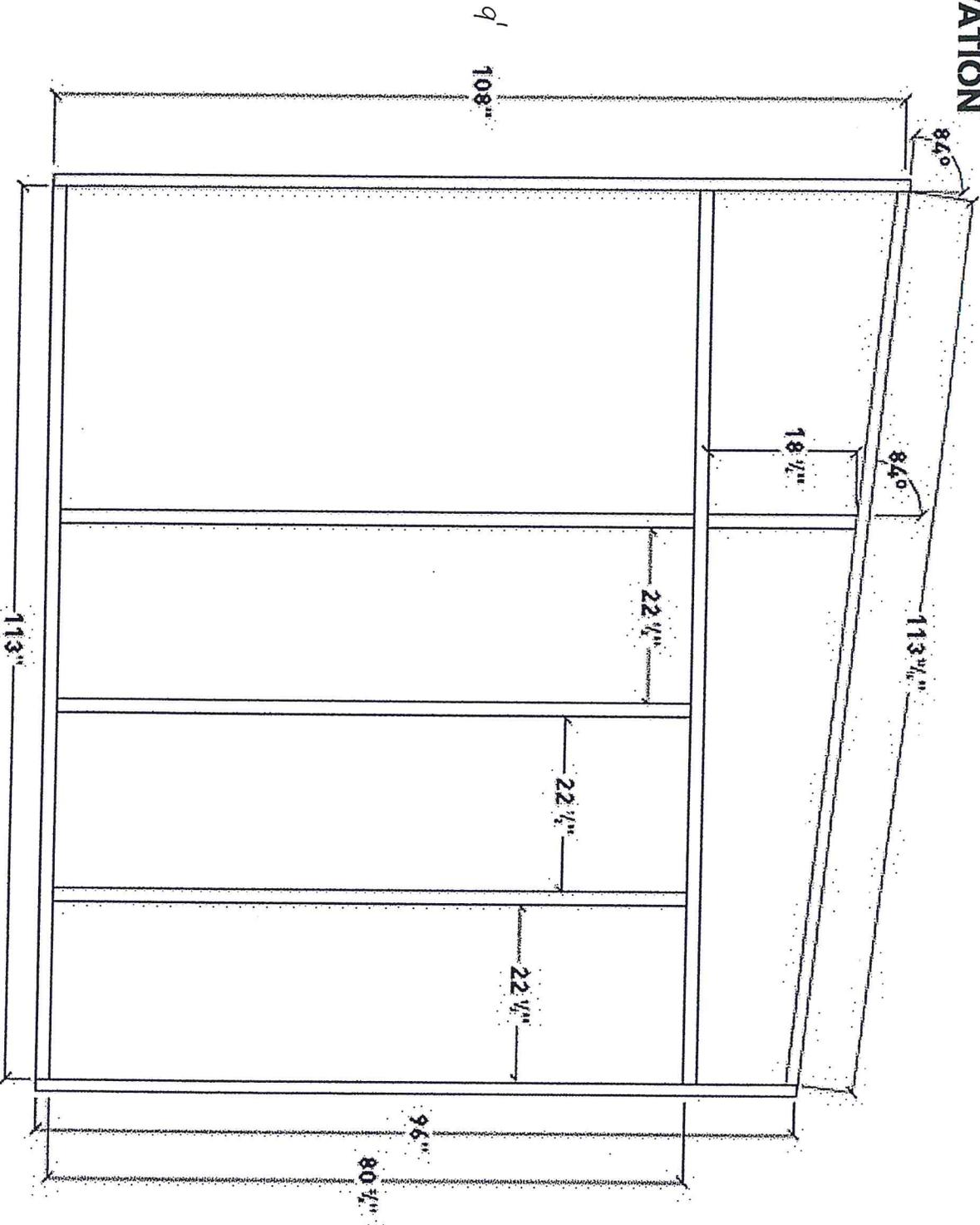
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NOTES



**SIDE  
ELEVATION**



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DRAWING  
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**1:13**

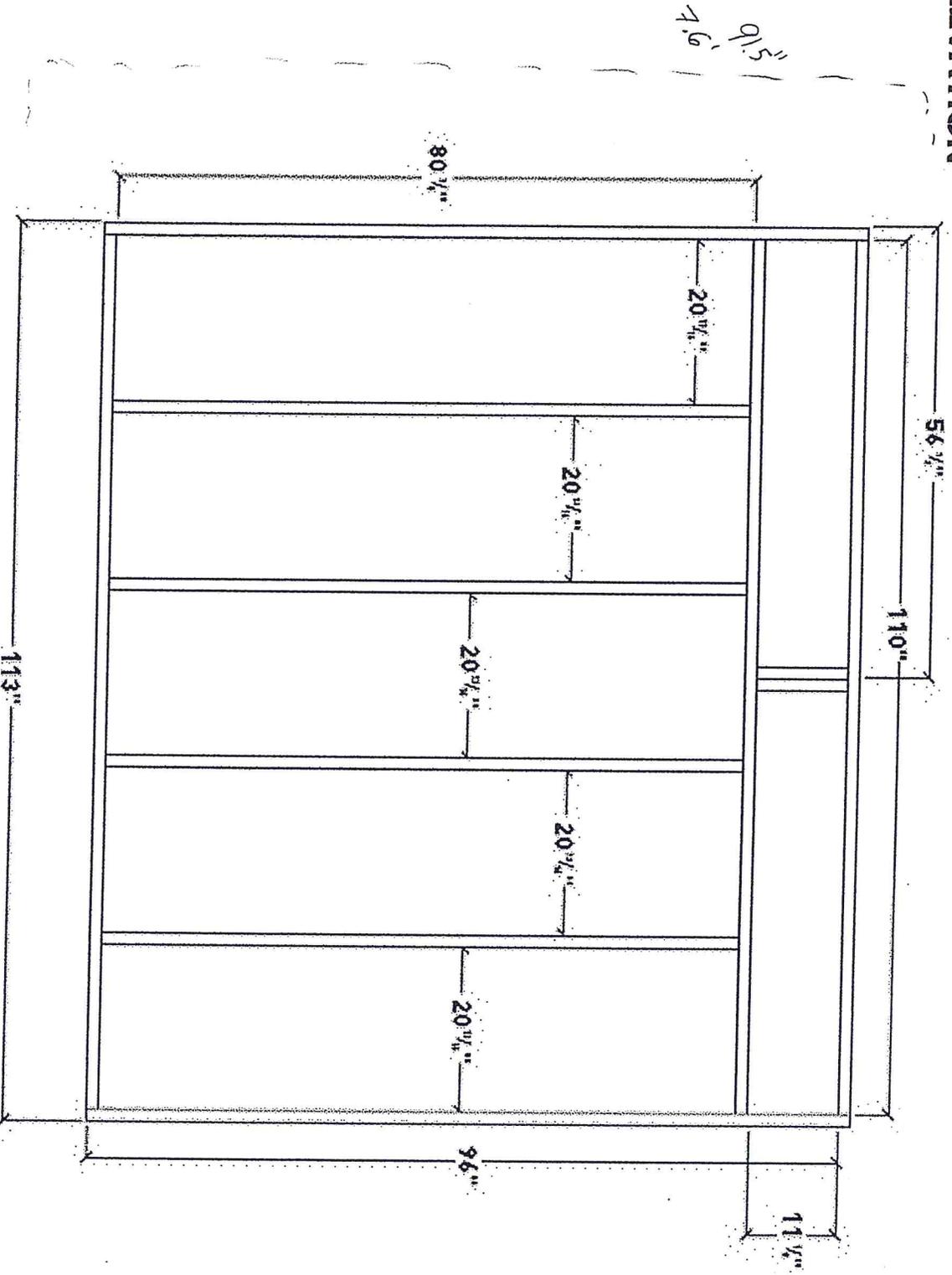
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# BACK ELEVATION



PAGE  
**6**

DRAWING  
**3 of 5**

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# ROOF PLAN

