



AGENDA

HISTORIC LANDMARKS COMMISSION

August 16, 2016
5:15 p.m.
2nd Floor Council Chambers
1095 Duane Street • Astoria OR 97103

1. CALL TO ORDER
2. ROLL CALL
3. MINUTES
 - a. June 21, 2016
4. PUBLIC HEARINGS
 - a. Exterior Alteration EX16-07 by Samuel E Johnson to replace an existing garage door with carriage doors, replace flat roof with gabled roof, and replace siding on an existing garage at 3774 Grand in the R-2, Medium Density Residential zone.
 - b. Exterior Alteration EX16-08 by Michelle Dieffenbach, Rickenbach Construction to add a 600 square foot addition on the west side of an existing historic single family dwelling at 500 Duane in the R-2, Medium Density Residential zone.
 - c. New Construction NC16-04 by Jorge & Heather Vazquez of Pelayos to install a tent canopy for covered seating adjacent to food vending truck in the parking lot of an existing gas station at 1701 Marine Drive in the FA, Family Activities zone.
5. STATUS UPDATES
 - a. Status report photographs are included for the following: NC15-08 for 726 27th Street by Dan Peters. The project is complete or near completion and conditions have been met. This status report is for Commission information.
6. REPORT OF OFFICERS
7. PUBLIC COMMENT (Non-Agenda Items)
8. ADJOURNMENT

THIS MEETING IS ACCESSIBLE TO THE DISABLED. AN INTERPRETER FOR THE HEARING IMPAIRED MAY BE REQUESTED UNDER THE TERMS OF ORS 192.630 BY CONTACTING SHERRI WILLIAMS, COMMUNITY DEVELOPMENT DEPARTMENT, 503-338-5183.

HISTORIC LANDMARKS COMMISSION MEETING

City Council Chambers

June 21, 2016

CALL TO ORDER – ITEM 1:

A regular meeting of the Astoria Historic Landmarks Commission (HLC) was held at the above place at the hour of 5:15 p.m.

ROLL CALL – ITEM 2:

Commissioners Present: Vice President Michelle Dieffenbach, Commissioners Jack Osterberg, Paul Caruana, Mac Burns, Kevin McHone, and Thomas Stanley.

Commissioners Excused: President LJ Gunderson

Staff Present: Community Development Director Kevin Cronin and Planner Nancy Ferber. The meeting is recorded and will be transcribed by ABC Transcription Services, Inc.

APPROVAL OF MINUTES – ITEM 3:

Vice President Dieffenbach asked if there were any changes to the minutes. There were none.

Commissioner Stanley moved to approve the minutes of May 17, 2016 as presented; seconded by Commissioner Burns. Ayes: Vice President Dieffenbach, Commissioners Caruana, Osterberg, Burns, Stanley, and McHone. Nays: None.

PUBLIC HEARINGS:

Vice President Dieffenbach explained the procedures governing the conduct of public hearings to the audience and advised that the substantive review criteria were listed in the Staff report.

ITEM 4(a):

EX16-06 Exterior Alteration EX16-06 by Gail Duncan to remodel and expand the side porch and stairs on an existing single family dwelling at 136 W Grand in the R-1, Low Density Residential zone.

Vice President Dieffenbach asked if anyone objected to the jurisdiction of the HLC to hear this matter at this time. There were no objections. Vice President Dieffenbach asked if any member of the HLC had a conflict of interest, or any ex parte contacts to declare. None declared. Vice President Dieffenbach requested a presentation of the Staff report.

Planner Ferber presented the Staff report and recommended approval with conditions.

Commissioner Caruana confirmed that the 6" X 6" posts supporting the porch would be pressure treated and asked if they would be painted.

Vice President Dieffenbach opened public testimony for the hearing and asked for the Applicant's presentation.

Gail Duncan, 136 W Grand, Astoria, said she had not planned on painting the pressure treated support beams, but she could if it were necessary to meet the criteria.

Commissioner Caruana said the approval criteria stated pressure treated incision marks could not be visible. This gives the Applicant the option of using a material without incision marks or painting the incision marks. He noted the scale drawings in the Staff report were a bit deceiving because they seem to indicate the support posts and newel posts will be the same size. However, the newel posts will actually be 3½ inches sitting on top of 5½-inch support posts.

Ms. Duncan confirmed she drew the scale drawings.

Commissioner Caruana said he preferred larger newel posts because they would receive the 2" X 4" handrail better and balance better with the structure underneath.

Vice President Dieffenbach called for any presentations by persons in favor of, impartial to or against the application. Seeing none, she closed the public testimony portion of the hearing and called for Commission discussion and deliberation.

Commissioner McHone noted that the pressure treated incision marks were addressed in the conditions of approval. Vice President Dieffenbach added that painting does not cover the marks well because the holes are so large. Therefore, the HLC typically requires no holes and no paint.

Commissioner Caruana said the drawings show pressure treated wood, even though the Staff report states visible wood must be free of incision marks. This could cause some confusion. Commissioner Osterberg explained that the conditions of approval always take precedence over what was proposed, including the drawings. He added that a condition could be added regarding the newel posts.

Commissioner Caruana clarified that he was just pointing out the differences between the drawings and the actual size of the newel posts. Vice President Dieffenbach said she did not have an issue with the larger newel posts because they would not line up with the support posts.

Commissioner Stanley moved that the Historic Landmarks Commission (HLC) adopt the Findings and Conclusions contained in the Staff report and approve Exterior Alteration EX16-06 by Gail Duncan; seconded by Commissioner Burns. Motion passed unanimously.

Vice President Dieffenbach read the rules of appeal into the record.

ITEM 4(b):

NC16-02 New Construction NC16-02 by Clydene Paul, Sunset Presort to locate a Tuff Shed on the back area of the property near the retaining wall, adjacent to the historic property at 397 Marine in the C-3, General Commercial zone.

Vice President Dieffenbach asked if anyone objected to the jurisdiction of the HLC to hear this matter at this time. There were no objections. She asked if any member of the HLC had a conflict of interest, or any ex parte contacts to declare. None declared. Vice President Dieffenbach requested a presentation of the Staff report.

Planner Ferber presented the Staff report and recommended approval with conditions.

Vice President Dieffenbach asked if the material on the shed would be similar to the material on the main building. She opened public testimony for the hearing and asked for the Applicant's presentation.

Clydene Paul, 33 SW 1st Street, Warrenton, said she had requested horizontal siding on the shed so that it would match the building, but she did not know what the siding would be made of. The shed will be painted to look like a smaller version of the main building, with the same color and style. However, the shed will not have trim or windows. It will have one door, two vents, and a reinforced floor. Also, the roofing on the shed will be the same as the roofing on the building.

Vice President Dieffenbach called for any presentations by persons in favor of, impartial to or against the application. Seeing none, she closed the public testimony portion of the hearing and called for Commission discussion and deliberation.

Commissioner Caruana believed the shed should have a small overhang with a barge and fascia to match the building. Otherwise, the shed will just look like a container painted to match the building. The proposal is not bad, but it could be better. He understood this was a prefabricated shed and the details would need to be fabricated on site, but noted the shed would be placed in a highly visible location.

Commissioner Burns noted that if the shed mirrored the building too much it might look more like a garage. He agreed matching details were appropriate on garages, but this is a shed. Sheds are not permanent structures, so it may be removed at some point.

Commissioner Stanley agreed the shed would be highly visible from a main street through the city. The Commission wants the town to be attractive to people who drive through. Therefore, he believed the shed should include more details that match the main building.

Vice President Dieffenbach said she supported the proposal because the shed would be on the back side of a commercial property and would still be painted to match the main building. Garages are permanent structures and are typically more closely associated with houses.

Commissioner Osterberg believed the points made about the appearance and design was good. However, those issues would be addressed best through a design review process. The HLC's review is limited to the buildings impact to the historic structure that sits near, but above and to the side of, this property. Staff has done a good job of addressing the size and placement of the shed. He believed the shed was reasonably compatible with the historic home. The HLC is not tasked with making larger comments about the appearance of the environment along Marine Drive. Therefore, he believed the request met the criteria for approval.

Commissioner McHone said he could support the request because no one testified against the proposal and because the shed is a temporary structure.

Commissioner Caruana asked if converting the shed to a permanent structure would trigger an additional review by the HLC. He was concerned that the shed could be grandfathered in as a temporary structure and then be made permanent. Staff explained that the shed is being treated as a permanent structure and moving the shed from one side of the parking lot to the other would require an amendment to the permit because the location is part of the criteria. Making a prefabricated shed conform to design standards that do not exist will be difficult.

Vice President Dieffenbach called for a straw poll, which confirmed a motion to approve the request would pass.

Commissioner Osterberg moved that the Historic Landmarks Commission (HLC) adopt the Findings and Conclusions contained in the Staff report and approve New Construction NC16-02 by Clydene Paul; seconded by Commissioner Burns. Motion passed 4 to 0 to 2. Ayes: Vice President Dieffenbach, Commissioners Osterberg, Burns, and McHone; Nays: None; Abstentions: Commissioners Stanley and Caruana.

Vice President Dieffenbach read the rules of appeal into the record.

Ms. Paul said she was willing to add any designs the City wants. She just needs space to store large quantities of tubs and trays. Windows, shutters, and window boxes could be added to match the building. Commissioners recommended Ms. Paul speak with Planner Ferber and the building official. Anything done to make the shed look nicer for the community will be appreciated. They commented on how much they liked the changes Ms. Paul made to the main building. Ms. Paul confirmed she wanted the shed to fit in, so she would make it pretty.

ITEM 4(c):

EX16-04 Exterior Alteration EX16-04 by Tim Brizendine to install skylights, dormers, and a new front door on an existing historic single family dwelling at 435 Exchange in the R-2, Medium Density Residential zone.

Vice President Dieffenbach asked if anyone objected to the jurisdiction of the HLC to hear this matter at this time. There were no objections. She asked if any member of the HLC had a conflict of interest, or any ex parte contacts to declare. None declared. She requested a presentation of the Staff report.

Planner Ferber presented the Staff report and confirmed the final proposal was to install wood clad windows. The application proposed large vents on top of the dormers. However, Staff has told the Applicant the vents will need to be installed below the rafters. This will be added to the final Staff report. Staff recommended approval with conditions.

Commissioner Caruana confirmed the windows would have a fiberglass exterior, like the Milgard Essence windows.

Vice President Dieffenbach opened public testimony for the hearing and asked for the Applicant's presentation.

Emily Flaming, 435 Exchange St. Astoria, said she was the homeowner and her father was the contractor on this project.

Tim Brizendine, 902 Clydesdale Ln. Kelso, WA, explained the window is constructed of wood clad in fiberglass on the outside.

Commissioner Caruana noted the Essence window has been approved by the HLC many times, but he wanted to clarify that the wood would not be seen from the outside. Vice President Dieffenbach added that one cannot tell the difference between a fiberglass and painted wood window because they look so similar.

Vice President Dieffenbach called for any presentations by persons in favor of, impartial to or against the application. Seeing none, she closed the public testimony portion of the hearing and called for Commission discussion and deliberation.

Commissioner McHone said he supported the sky lights because they would not be installed on the visible side of the house and there was no testimony in opposition to the proposal.

Commissioner Caruana asked how the dormers would be finished.

Vice President Dieffenbach reopened the public hearing and asked the Applicant to come forward.

Mr. Brizendine said the finished barge board would match the existing gable.

Vice President Dieffenbach closed the public hearing.

Commissioner McHone moved that the Historic Landmarks Commission (HLC) adopt the Findings and Conclusions contained in the Staff report and approve Exterior Alteration EX16-04 by Tim Brizendine, with the following addition:

6. "The proposed mechanical vents on top of the dormers are too large, and are not historically appropriate. As discussed at the HLC meeting held 6/21/16, vents to the attic space in the dormers shall be installed below the rafters such as eave vents or bird blocking vents. "

Motion seconded by Commissioner Caruana. Motion passed unanimously.

Vice President Dieffenbach read the rules of appeal into the record.

Director Cronin excused himself from the meeting at 6:03 pm.

ITEM 4(d):

NC16-03 New Construction NC16-03 by Peter Nevins to construct a 10' x 10' studio outbuilding on property adjacent to historic properties at 1233 Grand in the R-3, High Density Residential zone.

Vice President Dieffenbach asked if anyone objected to the jurisdiction of the HLC to hear this matter at this time. There were no objections. She asked if any member of the HLC had a conflict of interest, or any ex parte contacts to declare. None declared. Vice President Dieffenbach requested a presentation of the Staff report.

Planner Ferber presented the Staff report and recommended approval with conditions. If the Applicant decides to use the outbuilding for a business, a home occupation form will need to be submitted to the Community Development Department to obtain a business license.

Commissioner Stanley confirmed the house had shingle siding on one side and lap siding on three sides.

Vice President Dieffenbach opened public testimony for the hearing and asked for the Applicant's presentation.

Peter Nevins, 1233 Grand, Astoria, said he was not sure if he would use shingle or lap siding on the outbuilding. He originally proposed shingle siding, but the lap siding would match the character of the neighborhood. The green house on the hill across the street has lap siding. He confirmed he had no plans to change the siding on the house, but he would paint the existing siding to seal and protect it. The siding is in good enough condition to remain for the foreseeable future.

Commissioner Caruana believed it might be possible that the west wall still contained the original lap siding underneath the shingles.

Commissioner Osterberg understood that the criteria were asking that the outbuilding be considered compatible with the surrounding historic structures along the street. The four historic structures cited in the Staff report are a variety of styles. It will be difficult to choose one style that can be generally compatible with an entire street full of homes. However, he believed the Applicant had reasonably achieved that with a contemporary design that includes minor craftsman design influences.

Mr. Nevins said he preferred a pre-World War I style and designed the outbuilding in the arts and crafts style with a nod towards the modernist style.

Commissioner Stanley stated he was indifferent about the siding. He confirmed the outbuilding would have double pane glass windows, trimmed with ½-inch square trim and set in about 1 inch. Mr. Nevins added there would not be any exposed silicone. He wants to maximize the light coming in to the building, so the frame on all four windows will be 2X4s disguised with furring strips.

Vice President Dieffenbach called for any presentations by persons in favor of, impartial to or against the application. Seeing none, she closed the public testimony portion of the hearing and called for Commission discussion and deliberation.

Commissioner Stanley believed the Applicant would do a nice job and the outbuilding would look cute.

Commissioner Caruana said the design looked mid-century to him and he preferred that the outbuilding stay true to one style. He believed full lite doors would more appropriate than multi lite doors. Regardless of the siding, he believed the HLC needed to consider the spacing and exposure of the shingles. Old houses typically have four to five inches of exposure on the shingle siding, which gives a tight and more expensive look than wide spacing. Small spacing is important on small buildings like this one.

Vice President Dieffenbach agreed that a smaller lap on the siding and full lite doors would be better. She believed the outbuilding would look very modern, so she would prefer lap siding because shingles are more historic and rough.

Commissioner Osterberg suggested the HLC confirm the Applicant's intended design style.

Vice President Dieffenbach reopened the public hearing and asked the Applicant to come forward.

Mr. Nevins explained that he had a real bias towards pre-World War I architecture. He believed the goal of the arts and crafts style was to eliminate anything that is unnecessary or not useful. The outbuilding is based on plans made in 2006, so it does have a modernist aesthetic. He wanted the building to look like arts and crafts with some modern elements. He believed clapboard siding would look nice.

Commissioner Stanley confirmed that the HLC would not ask Mr. Nevins to redesign his outbuilding, but the Commissioners just wanted to help make sure it would look appropriate.

Mr. Nevins added the interior would be finished with insulation and drywall so that he could heat it quickly with an electric heater. He would get electrical permits, but the building would not have water. He will use the outbuilding for printmaking and his etching press will be visible through the window. The building will also have an inking table and drying racks.

Vice President Dieffenbach suggested the Applicant consider a more rustic style with rough sawn cedar trim boards.

Commissioner Caruana asked if the Applicant was willing to compromise on the door.

Mr. Nevins believed the mullions gave the building a more historic look. He has been looking for vintage doors and there are many designs available. However, he preferred a door with more mullions.

Commissioner Caruana said he would prefer painted lap siding with no more than a 5-inch exposure and he was fine the proposed door.

The Commission agreed the Applicant would be able to find the perfect door for the building at an antique hardware store.

Mr. Nevins agreed the lap siding would be better.

Commissioner Stanley believed the project should be approved as proposed even though the Commission and the Applicant have agreed on a different siding.

Mr. Nevins confirmed he was undecided on the siding prior to the hearing. Installing lap siding is not an issue.

Vice President Dieffenbach closed the public hearing.

Commissioner Caruana moved that the Historic Landmarks Commission (HLC) adopt the Findings and Conclusions contained in the Staff report and approve New Construction NC16-03 by Peter Nevins with the following addition:

- “6. Windows shall be set in with ½” trim.
7. The proposed cedar shingle siding is acceptable, however the Commission recommended smooth lap siding with reveal not to exceed 5” as more appropriate siding.
8. The proposed doors are acceptable. Some Commissioners recommended full lite doors which would also be appropriate. Doors that the applicant plans install that vary from the proposed doors shall be reviewed by the Community Development Department.”

Motion was seconded by Commissioner Burns. Motion passed unanimously.

Vice President Dieffenbach read the rules of appeal into the record.

REPORTS OF OFFICERS/COMMISSIONERS – ITEM 5:

Planner Ferber reported that Clatsop Community College just announced their historic preservation and restoration classes for Fall 2016. She noted the HLC did not have any applications to review in July, but did have two so far for August. She asked the HLC to consider a combined meeting with the Design Review Committee because one of the applications needs to be reviewed by both committees. The HLC discussed possible meeting dates. It was decided that the meetings would be separate as originally scheduled.

PUBLIC COMMENTS – ITEM 6:

ADJOURNMENT:

There being no further business, the meeting was adjourned at 6:37 pm.

APPROVED:

Community Development Director

DRAFT

STAFF REPORT AND FINDINGS OF FACT

August 9, 2016

TO: HISTORIC LANDMARKS COMMISSION

FROM: NANCY FERBER, PLANNER 

SUBJECT: REQUEST TO CHANGE ROOF FROM FLAT MEMBRANE TO GABLED WITH SHINGLES, REPLACE SIDING, AND REPLACE ROLLUP DOOR WITH WOOD CARRIAGE DOORS

I. BACKGROUND SUMMARY

- A. Applicant: Sam Johnson
3774 Grand Ave
Astoria, OR 97103
- B. Owner: Samuel E Johnson
3774 Grand Ave
Astoria, OR 97103
- C. Location: 3774 Grand Avenue; Map T8N-R9W Section 9DB, Tax Lot(s) 1500; south 50' Lot 13, Block 34, Port of Upper Astoria WF McGregor Et Al. R-2.
- D. Classification: Contributing historic structure in Adair's Port of Upper Astoria Inventory Area.
- E. Proposal: To install a gabled roof on the existing garage, replace garage siding and replace rollup door with wooden carriage doors.
- F. Previous Applications: The previous owners requested administrative variances, for increasing lot coverage and encroaching into setbacks to construct and expand a deck. The variances were granted in 2001 and 2005.

II. BACKGROUND

The subject property is currently developed with an approximately 1,230 square foot single family



dwelling with garage attached by a breezeway. Previous alterations included expanding the deck to the east with a 9' x 9' area that with 1' setback from the rear property line in line with the existing deck, and to within 3' of the side property line. The Existing structures cover approximately 1,230 square feet of the 2,500 square foot lot for a total of 49.13% lot cover. The deck increased the lot coverage by 81 square feet (3.24%) for a total of 52.37% lot coverage. Variances V05-19 and V01-13 were approved for the setbacks and increasing lot coverage. The R-2 Zone allows a maximum of 40% lot coverage (1,000 square feet for this 2,500 square foot lot).

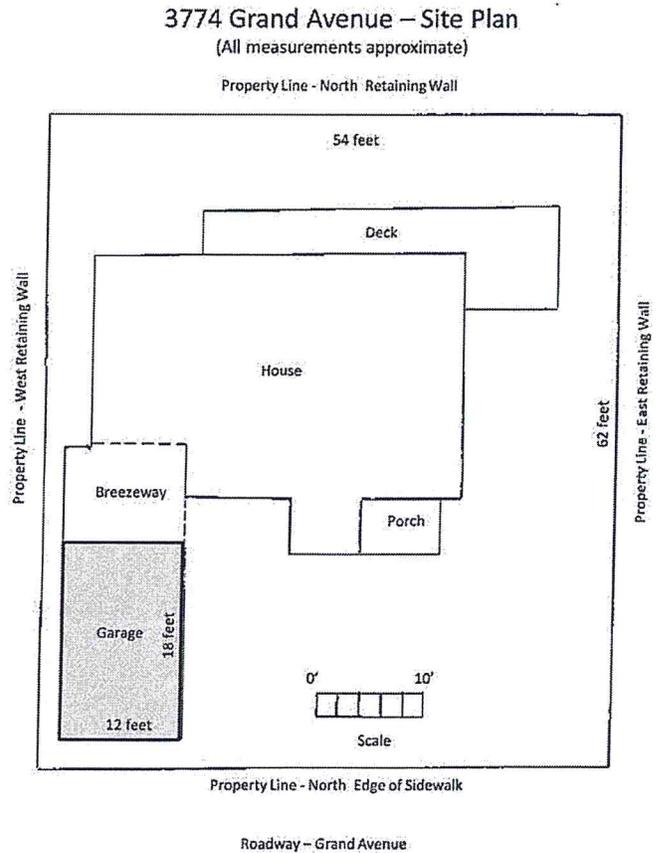


The topography falls away to the north of the property; there is a daylight basement on the north elevation of the structure. There are existing dwellings to the east and west of the subject property. The adjacent lot to the north of the subject property is the back yard of a house, which faces on 38th Street. The house on the adjacent corner lot to the east also faces 38th Street.

The house is an eligible contributing property in good condition. Built circa 1900, it was previously known as the Hanson Home, and the Scott Residence. Primary windows are 1/1 double hung with sashes, exterior surfacing is shiplap. Decorative features include window cornices, shutters, and front porch.

Previous exterior alterations noted on the inventory include the partially enclosed front porch entry, shutters and a concrete chimney.

The garage is a one car garage with flatroof, shiplap siding and metal rollup door at the street level. The structure is connected to the house on the north via a breezeway. The garage has six pane square windows with cornices.



III. PUBLIC REVIEW AND COMMENT

A public notice was mailed to all property owners within 100 feet pursuant to Section 9.020 on July 22, 2016. A notice of public hearing was published in the *Daily Astorian* on August 9, 2016. Any comments received will be made available at the Historic Landmarks Commission meeting.

IV. APPLICABLE REVIEW CRITERIA AND FINDINGS OF FACT

- A. Section 6.050(B) requires that unless otherwise exempted, no person, corporation, or other entity shall change, add to, or modify a structure or site in such a way as to affect its exterior appearance, if such structure is listed or identified as a Historic Landmark or as Primary or Secondary without first obtaining a Certificate of Appropriateness.

Finding: The structure is listed as eligible contributing in Astoria Adair-Uppertown Inventory area.

- B. Section 6.050(C) states that the Historic Preservation Officer shall approve an exterior alteration request if:

1. There is no change in historic character, appearance or material composition from the existing structure or feature; or
2. If the proposed alteration duplicates the affected building features as determined from a photograph taken during either the Primary or Secondary development periods, or other evidence of original building features; or
3. If the proposed alteration is required for the public safety due to an unsafe or dangerous condition.
4. If the proposed alteration relates to signage in scale to the architectural style of the building.

Finding: The request to a gabled roof and new door to the garage, which is highly visible on the front façade of the structure, is a significant alteration, and requires review by the Historic Landmarks Commission.

- C. Section 6.050(D) requires that the following standards shall be used to review exterior alteration requests. The standards summarized below involve the balancing of competing and conflicting interests. The standards are not intended to be an exclusive list, but are to be used as a guide in the Historic Landmark Commission's deliberations.

1. Section 6.050(D)(1) states that every reasonable effort shall be made to provide a compatible use for a property which requires minimal alteration of the building, structure, or site and its environment, or to use a property for its originally intended purpose.

Finding: The structure was originally built as a single family dwelling, known as the Hanson House. It will remain a single family dwelling. Improvements to the garage will allow for better access and a more cohesive and compatible look to match the existing home.

2. Section 6.050(D)(2) states that the distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.

Finding: The applicant does not propose to destroy any distinctive historic materials.

3. Section 6.050(D)(3) states that all buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.

Finding: Alterations do not seek to create an earlier appearance.

4. Section 6.050(D)(4) states that changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.

Finding: The proposed alterations do not affect changes that may have acquired historic significance.

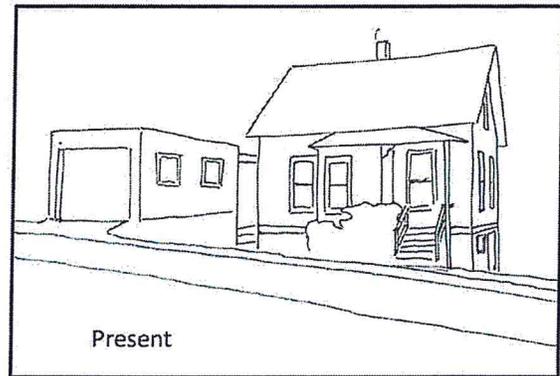
5. Section 6.050(D) (5) states that distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.

Finding: The distinctive stylistic features and examples of the Victorian era vernacular home which characterize the building will be treated with sensitivity. The proposed alterations include the garage restoration: the existing two foot wooden windows will be kept intact with new wood framing. The fiberglass roll-up door will be replaced with two 4'x 7' wooden carriage doors, painted to match the house. The existing flat membrane roof is proposed to be replaced with an 8/12 pitched gable roof with one-foot eaves on sides and a one-foot overhang in the front.

Roofing will be black asphalt shingles over ½ inch plywood underlayment, matching the existing house. The siding on the garage will be repaired with tongue and groove v-board smooth siding on 2 x 4 studs. The siding will be very similar to the existing horizontal siding in the home.

The remaining historic features of the structure will be left intact. The doors and windows shall be installed to the historic depth and dimensions and trimmed to match trim work on existing historic house. All glass in the door shall be clear, and lites shall be true divided. With the conditions noted, distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.

6. Section 6.050(D) (6) states that deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.



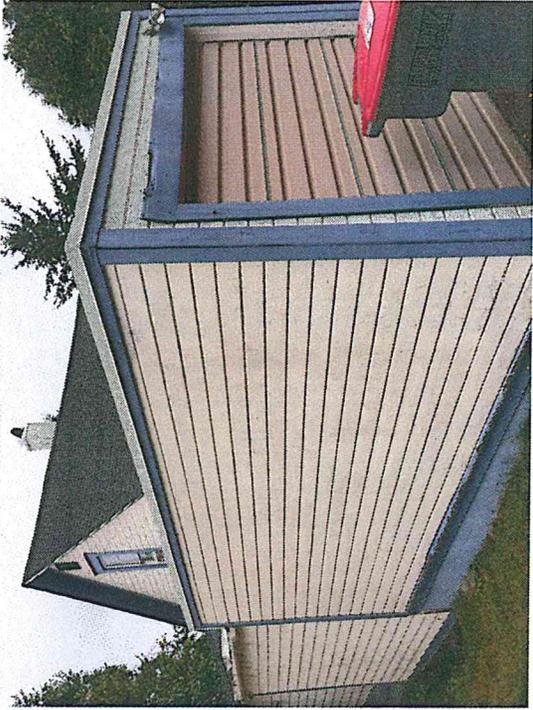
Finding: The deteriorating garage door will be replaced with a new wooden door that will reflect proportions of the windows and doors in the existing house. The proposed garage doors will have six lites, similar to the photos on the following page.

The applicant shall obtain all necessary City and building permits prior to the start of any future construction renovation work.

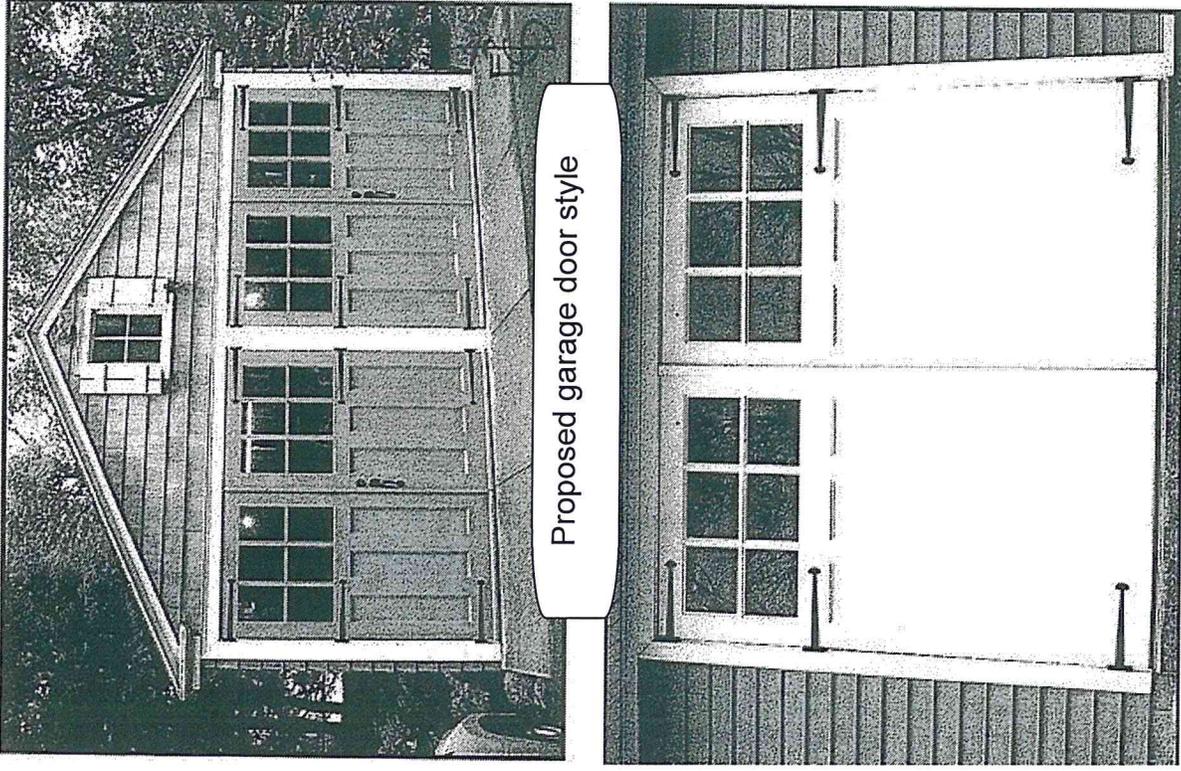
7. Section 6.050(D)(7) states that the surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.

Finding: No surface cleaning is proposed

Existing fiberglass roll-up door



Proposed garage door style

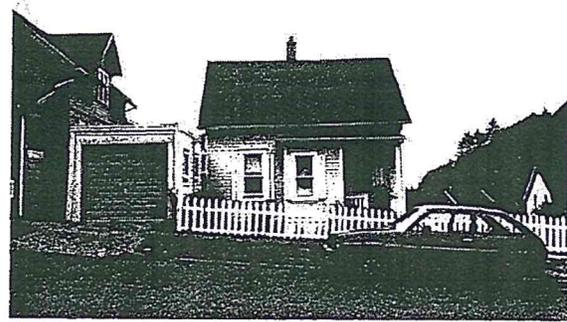


- Section 6.050(D)(8) states that every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.

Finding: Archaeological resources, if any, will not be affected.

- Section 6.050(D)(9) states that contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and addition do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood or environment.

Finding: Most of the proposed alterations are based on historic photographs and are of materials similar to the original materials. The proposed alterations use contemporary materials, which could be considered sympathetic to the structure, particularly if the trim detail is maintained for the proposed door and windows.



The addition of a gabled roof design is compatible with the size, scale, color, and material of the existing home. The proposed pitch of 8/12 is appropriate for the smaller sized structure. The proposed black asphalt shingles will match the house roofing.

The vernacular home has some Victorian design elements such as the asymmetrical porch, steeply pitched roof, and asymmetrical façade. The addition of a front facing gabled roof will reflect Victorian style garages, examples of which are shown below.



Example Roof Pitches



Example Victorian style garage

(<http://garageplansandmore.com/styles/victorian-garage-plans>)

Any visible wood used for trim around the doors and/or windows shall be free of pressure treatment incision marks, and shall be painted to match the house or garage.

10. Section 6.050(D)(10) states that wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

Finding: The alterations proposed to the structure can be done in such a manner that if they were removed in the future, the essential form and integrity of the structure would be unimpaired.

V. CONCLUSION AND RECOMMENDATION

The request meets the applicable review criteria. Staff recommends approval of the request based on the Findings of Fact above with the following conditions:

1. The doors and windows shall be installed to the historic depth and dimensions and trimmed to match trim work on existing historic house. All glass in the door shall be clear, and lites shall be true divided.
2. Any visible wood shall be free of pressure treatment incision marks, and all wood, shall be painted to match the house.
3. Significant changes or modifications to the proposed plans as described in this Staff Report shall be reviewed by the Historic Landmarks Commission.

The applicant should be aware of the following requirements:

The applicant shall obtain all necessary City and building permits prior to the start of construction.



CITY OF ASTORIA
 Founded 1811 • Incorporated 1856
COMMUNITY DEVELOPMENT

EX 16-07

Paid Credit 6/22/16
FEE: \$100.00

EXTERIOR ALTERATION FOR HISTORIC PROPERTY

Property Address: 3774 Grand Avenue, Astoria, OR 97103
 Lot Portion of Lot S513 Block 34 Subdivision Part of Upper Ast. W. F. McGregor et al
 Map 09DB Tax Lot 1500 Zone R-2

For office use only:

Classification: elig/contrib Inventory Area: Adair-Uppertown Inventory

Applicant Name: Samuel E. Johnson

Mailing Address: 3774 Grand Avenue, Astoria, OR 97103

Phone: (cell) 503-791-3693 Business Phone: 503-325-2323 Email: johnson@crmm.org

Property Owner's Name: Samuel E. Johnson

Mailing Address: 3774 Grand Avenue Astoria, OR 97103

Business Name (if applicable): _____

Sam Johnson

Signature of Applicant:

Signature of Property Owner: same as above

Existing Construction and Proposed Alterations: It is proposed to remodel a 12 x 18 foot single wall wood framed flat-roof garage with roll-up door. The flat roof would be replaced with a gable roof with asphalt shingles matching those of the main house. The roll-up door would be replaced with two carriage doors. Siding to be replaced with new V-board siding or by wood shingles (both of which are on existing structure). No change in footprint. The building is now in bad condition with substantial rot, and walls that are out of plumb and leak.

For office use only:			
Application Complete:	612	Permit Info Into D-Base:	6/24/16
Labels Prepared:	6-29-16	Tentative HLC Meeting Date:	8/16/16 5:15pm
120 Days:	10/27/16		

FILING INFORMATION: Historic Landmarks Commission meets at 5:15 pm on the third Tuesday of each month. Complete applications must be received by the 13th of the month to be on the next month's agenda. A pre-application meeting with the Planner is required prior to the acceptance of the application as complete. **Only complete applications will be scheduled on the agenda.** Your attendance at the Historic Landmarks Commission meeting is recommended.

Briefly address each of the Exterior Alteration Criteria and state why this request should be approved. (Use additional sheets if necessary.):

1. Every reasonable effort shall be made to provide a compatible use for a property which requires minimal alteration of the building, structure, or site and its environment, or to use a property for its originally intended purpose.

The use of the building will not be changed. The roof will be changed from a flat membrane-covered roof to a gable roof with asphalt shingles that match those of the main house. The V-board siding, which leaks at every seam, will serve as underlayment for a new layer of either wood V-board or wood shingles. The fiberglass rollup door will be replaced with wood carriage doors.

2. The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.

The "shoebox" garage is not contemporary with the house and detracts from the architecture of the house and the historic nature of the surrounding neighborhood. The proposed changes will not destroy the basic structure of the garage and if future studies determine that the garage should be restored to its original form this could easily be accomplished.

3. All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.

The proposed changes are in keeping with the "farmhouse" style of the house

4. Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.

The garage has little significance in its own right and detracts from the turn-of-the-century architecture of the neighborhood.

5. Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.

The garage is poorly built and has no distinctive stylistic features or examples of skilled craftsmanship. Framing with 1 ½ x 3 ½ lumber indicates that it was built around 1950 or after, when that lumber standard for 2 x 4s came into use.

6. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.

All materials used in the renovation will be consistent in type, style, and material with those of the main house.

7. The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.

There will be no surface cleaning

8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.

There are no archaeological resources affected by or adjacent to the project

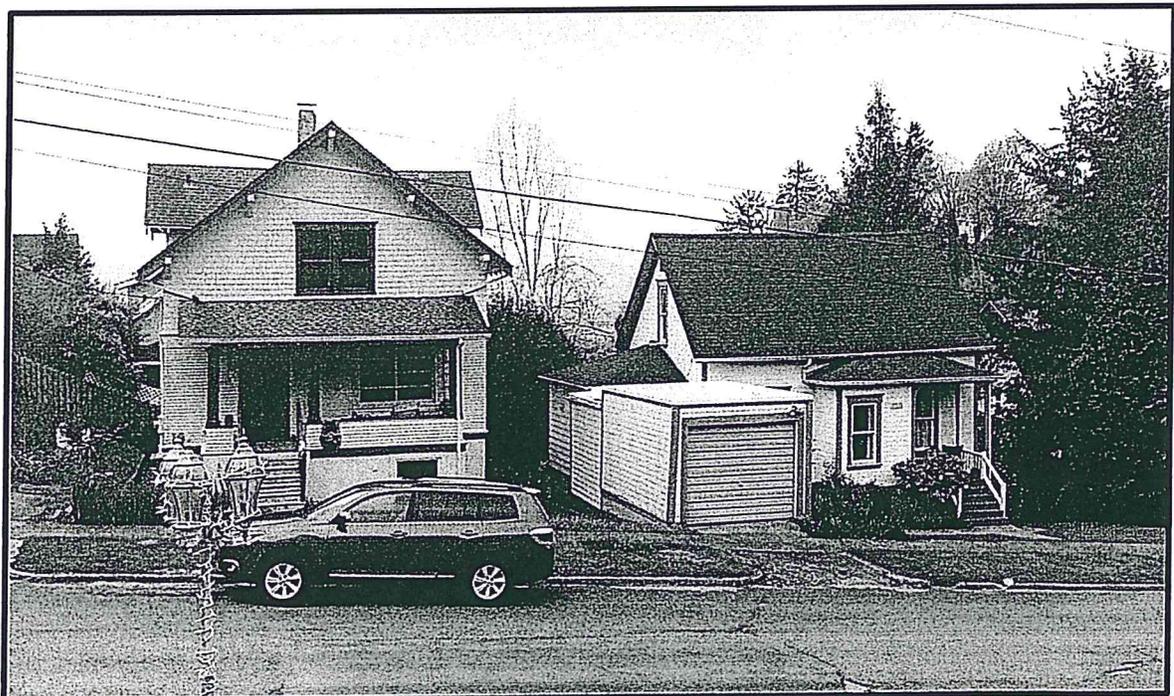
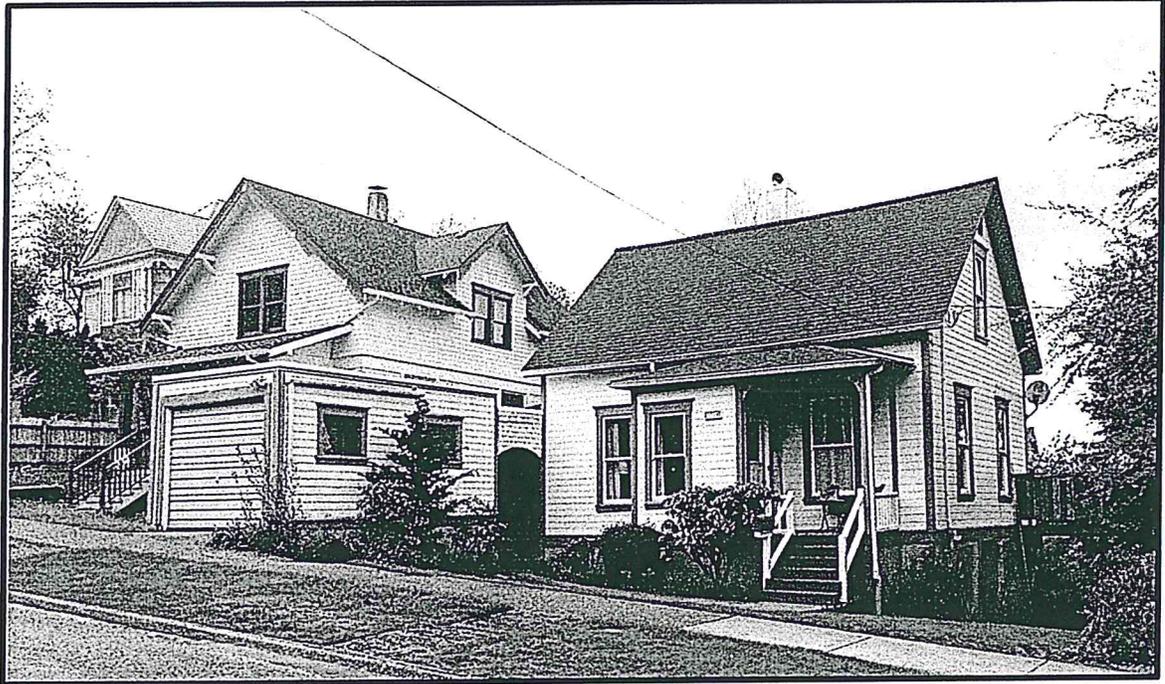
9. Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and addition do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood or environment.

All proposed changes will be compatible with the size, scale, color, material, and character of the neighborhood and environment.

10. Wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

The proposed changes will leave the essential box structure of the garage intact and unimpaired
PLANS: A site plan indicating location of structure on the property and the location of the proposed alterations is required. Diagrams showing the proposed alterations indicating style and type of materials proposed to be used. Scaled free-hand drawings are acceptable. The City may be able to provide some historic technical assistance on your proposal.

**PROPOSED GARAGE RESTORATION
RE-SIDING WITH GABLE ROOF &
TRADITIONAL DOORS TO CONFORM WITH HOUSE
3774 GRAND AVENUE, ASTORIA, OR 97103
OWNER: SAMUEL E. JOHNSON**



**PROPOSED GARAGE RESTORATION
RE-SIDING WITH GABLE ROOF &
TRADITIONAL DOORS TO CONFORM WITH HOUSE
3774 GRAND AVENUE, ASTORIA, OR 97103
OWNER: SAMUEL E. JOHNSON**



Present

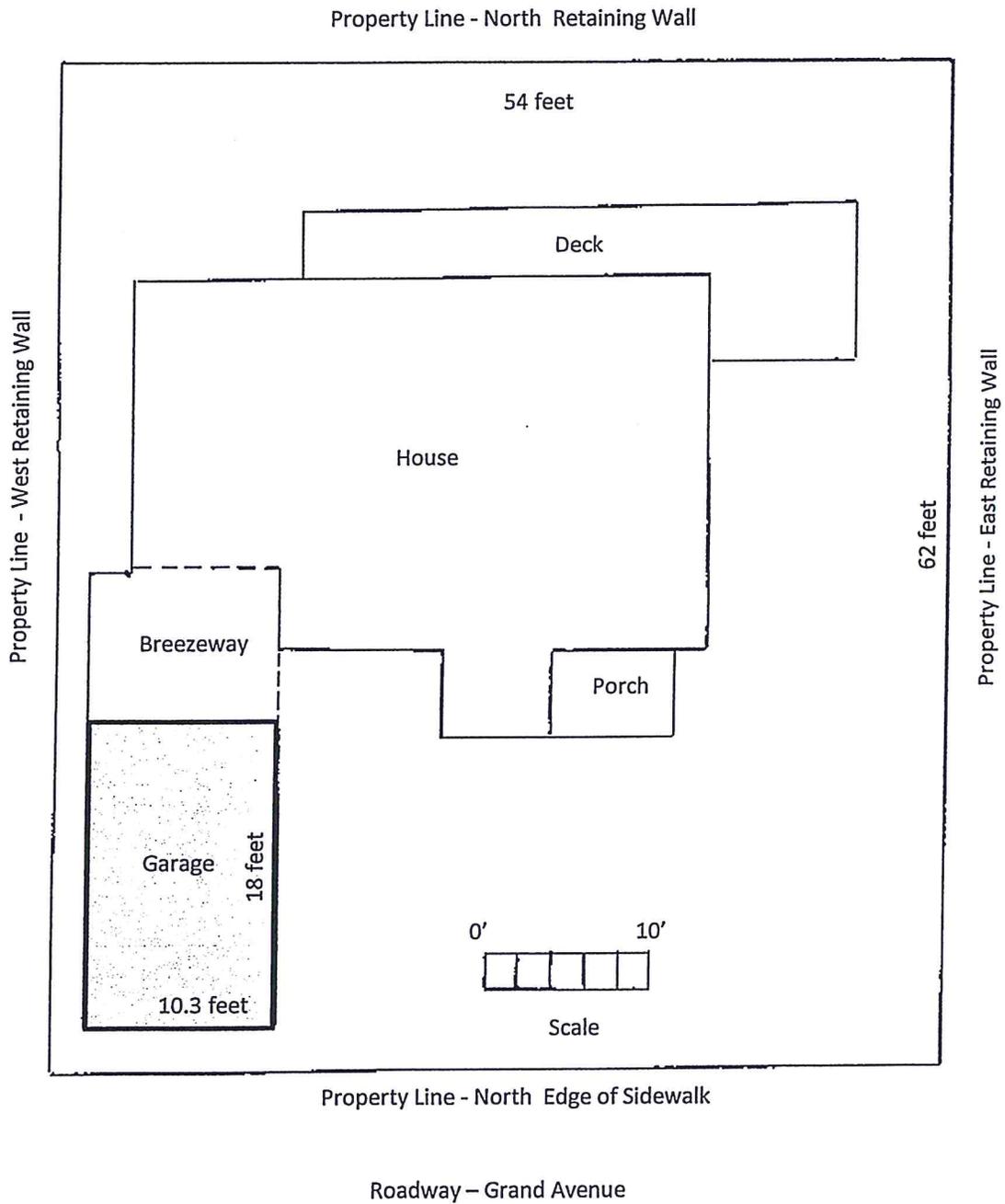


Proposed

House \approx 12/12
roof -
pitch 8/12

3774 Grand Avenue – Site Plan

(All measurements approximate)



CITY OF ASTORIA

JUN. 29 REC'D

BUILDING CODES

3774 Grand Avenue, Astoria - Garage Restoration/Remodel

Garage Dimensions: 10.3 feet wide by 18 feet long by 9 feet high with 8-foot wide by 7-foot high roll-up door opening and two windows on east side of building. French doors opening onto a breezeway into house on north end of garage.

Siding: T&G V-board on 2 x 4 studs. Repair walls as needed and apply a vapor barrier and 1 x 6 inch T&G V-groove wood over existing siding. *Smooth, cedar?*

Roof: Replace existing flat membrane roof with 8/12 pitch gable roof with one-foot eaves on sides and one-foot overhang in front. Black asphalt shingles over ½-inch plywood underlayment to match house roof.

Roof trusses to be placed two-foot on centers.

Interior: Leave unfinished except for ½-inch plywood sheet around door to prevent racking.

Electricity: Keep existing single 20 amp line from house

Windows: Use existing single pane two-foot square windows with new wood framing.

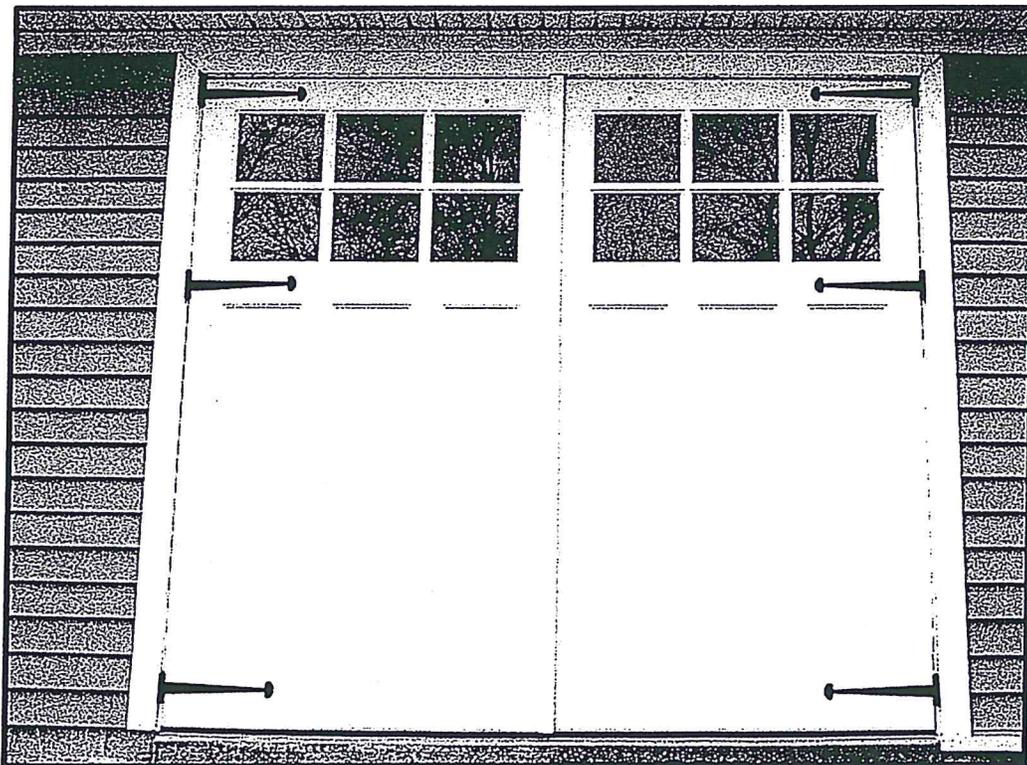
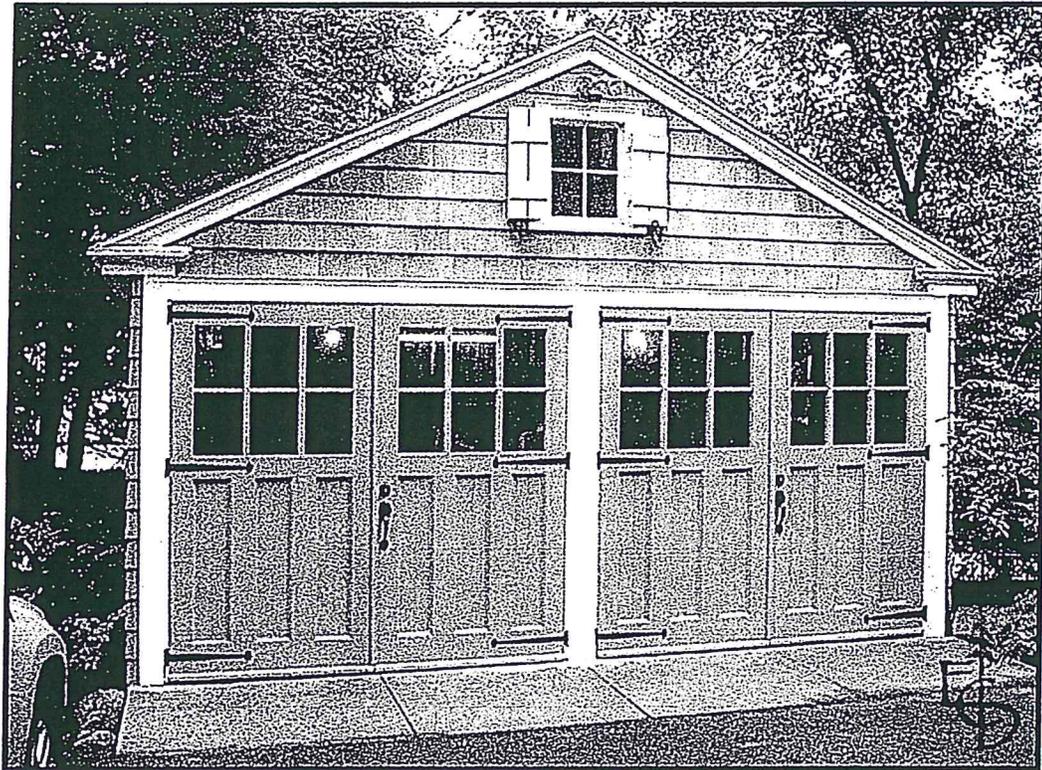
Doors: Replace fiberglass roll-up door with two painted wood 4' x 7' carriage doors. Each door to have six lights.

Floor: Existing concrete slab

Other work associated with this remodel:

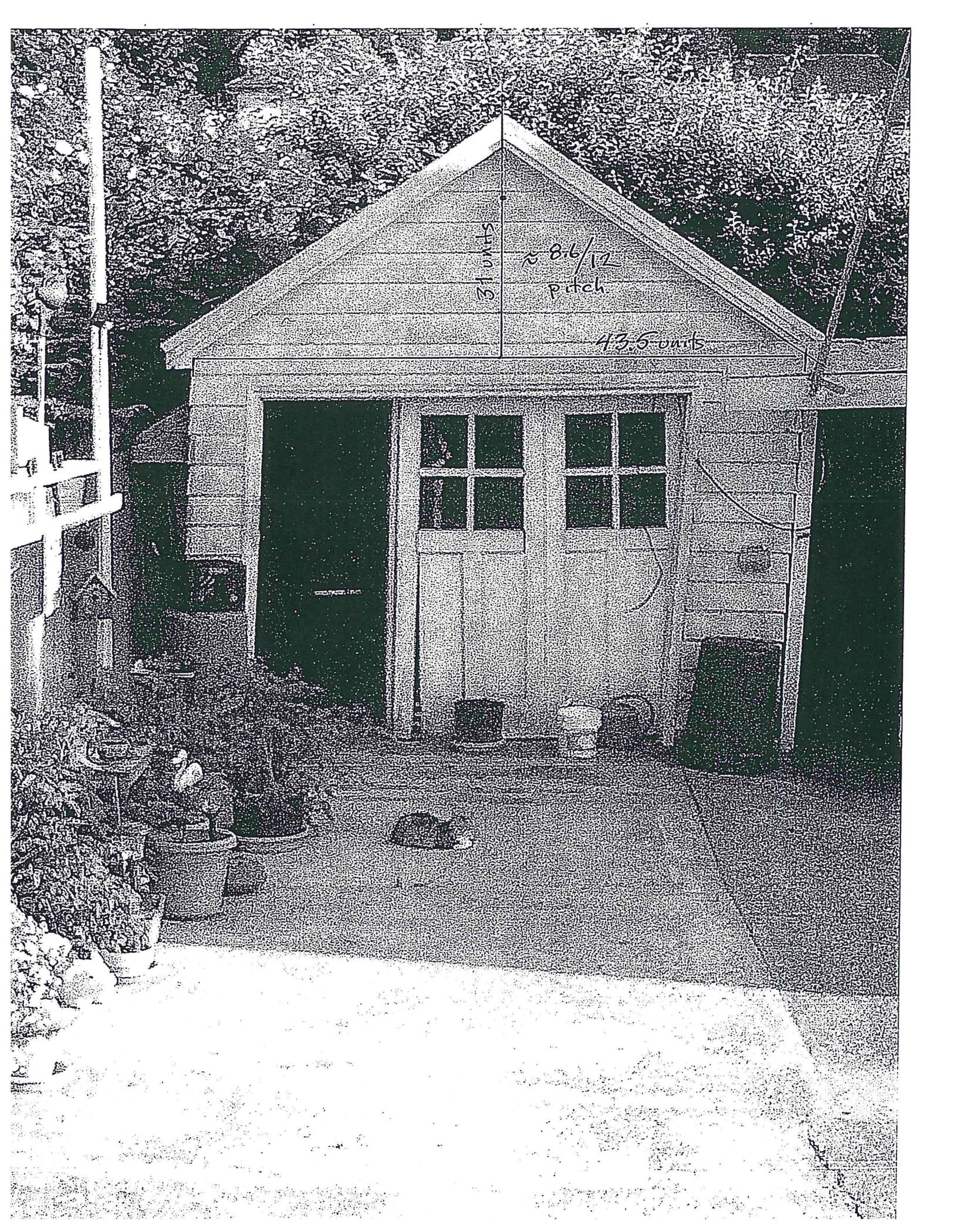
Sidewalk: Replace broken concrete sidewalk sections with new concrete

Breezeway between garage and house: Re-flash and recoat breezeway membrane roof after garage re-siding is completed.



Proposed Garage Door Style

- Plywood backing
- Wood composite
- Painted to match



31 units

≈ 8.6/12
pitch

43.5 units

Garage Window Detail – 3774 Grand Avenue, Astoria



CITY OF ASTORIA

JUN 29 REC'D

BUILDING CODES

✓

OREGON INVENTORY OF HISTORIC PROPERTIES
HISTORIC RESOURCE SURVEY FORM
COUNTY: CLATSOP

HIST. NAME: Hanson Residence
COMMON NAME: Scott Residence
ADDRESS: 3774 Grand
CITY: Astoria, 97103
OWNER: Scott, Olga

DATE OF CONSTRUCTION: Circa 1900
ORIGINAL USE: Residential
PRESENT USE: Residential
ARCHITECT: NA
BUILDER: NA
THEME: Architecture
STYLE: Vernacular

T/R/S: T8N/R9W/S9
MAP NO.: 80909 DB TAX LOT: 1500
ADDITION: Adair's Port of Upper Astoria
BLOCK: 34 LOT: 13 QUAD: Astoria
5 1/5

X BLDG STRUC DIST SITE OBJ

PLAN TYPE/SHAPE: rectangular
FOUNDATION MATERIAL: concrete w/vert. skirt
ROOF FORM & MATERIALS: gable w/asphalt shingles
WALL CONSTRUCTION: nailed wood frame
PRIMARY WINDOW TYPE: 1/1 double-hung wd. sash
EXTERIOR SURFACING MATERIALS: shiplap
DECORATIVE FEATURES: projecting window cornices; shutters; watertable; front porch with
OTHER: hip roof.

CONTRIBUTING
NO. OF STORIES: 1.5
BASEMENT: yes/elevated

STRUCTURAL FRAME: nailed wood frame

CONDITION: x GOOD FAIR POOR MOVED (DATE)

EXTERIOR ALTERATIONS/ADDITIONS (DATED): partially enclosed front porch entry;
shutters; concrete chimney.

NOTEWORTHY LANDSCAPE FEATURES: white picket fence around property.

ASSOCIATED STRUCTURES: one car garage with flat roof, shiplap and metal door at street level.
It is connected to the house on the north side and has six pane square windows with cornices.

KNOWN ARCHEOLOGICAL FEATURES: NA

SETTING: facing south on Grand Ave. House is located on the west corner of lot, close to
neighbor house on that side with lots of space on east side. Lot slopes down to the east.

STATEMENT OF SIGNIFICANCE (Historical and/or architectural importance, dates, events, persons, contexts).
USE ADDITIONAL SHEETS IF NECESSARY.

The Sanborn Fire Insurance Maps show that this building was constructed by 1908. According to Polk's Astoria's City and Clatsop County Directory, the residence was occupied in 1908-1909 by Andrew Remmen, a sawyer at Astoria Box Co. Peter and Sina Hanson resided at this address from 1910 through 1938, the last city directory listing for this address. Mr. Hanson worked at the Columbia River Packers Association cold storage plant. He was the incorporator of the Franklin Publishing Co. and the Astoria Finance Co. in 1931. Mr. Hanson was installed at the C.C. Astor Lodge, Knights of Pythias in 1926. Helmar Norgaard, a fisherman, was listed as a resident in 1913. A student named Martin Norgore lived at the home in 1917-1918.

SOURCES: Sanborn Fire Insurance Maps; Polk's Astoria's City and Clatsop Directory; Astor Library newspaper index.

NEGATIVE NO.: Roll 7, no. 8.
SLIDE NO.: NA

RECORDED BY: S. Donovan, N.H.P.A.
DATE: 10/88

SHPO INVENTORY NO.:

OREGON INVENTORY OF HISTORIC PROPERTIES
HISTORIC RESOURCE SURVEY FORM
COUNTY: CLATSOP

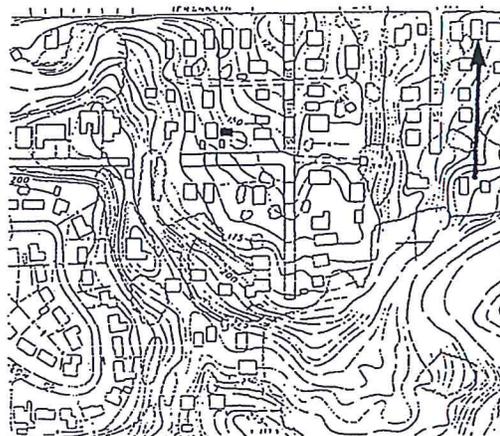
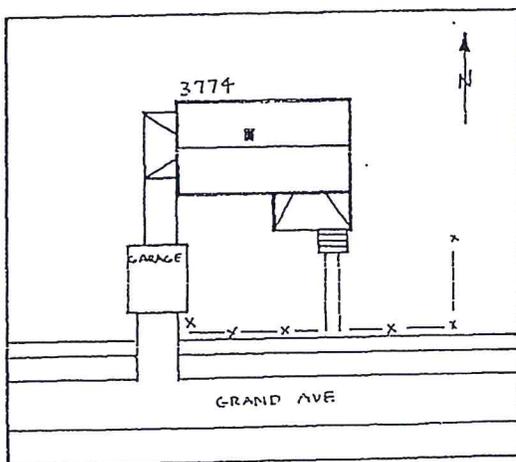
PROPERTY
NAME: Scott Residence
ADDRESS: 3774 Grand
ASSESSOR ACCT. #: 52539

T/R/S: T8N/R9W/S9
MAP NO.: 80909 DB
QUADRANGLE: Astoria



NEGATIVE NO.: Roll 7, no. 7

SLIDE: NA



GRAPHIC & PHOTO SOURCES: N.H.P.A.

SHPO INVENTORY NO.:

STAFF REPORT AND FINDINGS OF FACT

August 10, 2016

TO: HISTORIC LANDMARKS COMMISSION

FROM: NANCY FERBER, PLANNER 

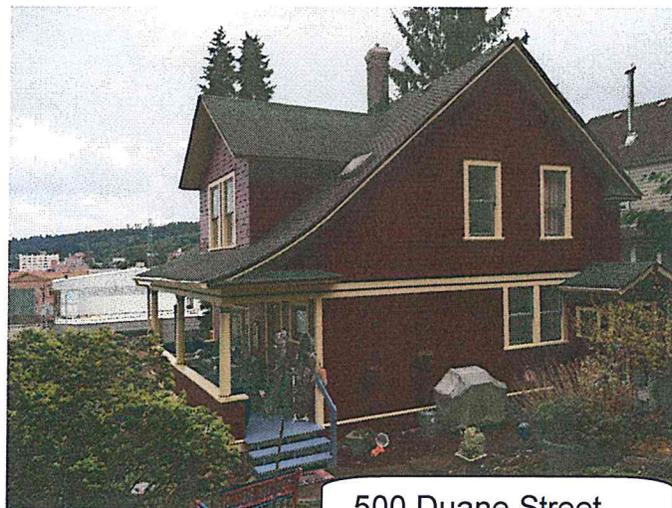
SUBJECT: PROPOSAL TO ADD 600 SQUARE FEET ADDITION ON WEST SIDE OF A SINGLE FAMILY RESIDENCE

I. BACKGROUND SUMMARY

- A. Applicant: Michelle Dieffenbach on behalf of Patti Breidenbach
37734 Eagle Lane
Astoria, OR 97103
- B. Owner: Patricia Ann and Mark Curley Breidenbach
500 Duane Street
Astoria, OR 97103
- C. Location: 500 Duane Street; Map T8N-R9W Section 7DA, Tax Lot 9000;
North 50' of Lot 5, and North 50' of 8, Block 30 McClures. R-2.

D. Classification: Secondary contributing historic structure in Hobson-Flavel Inventory Area.

E. Proposal: To construct addition to the master bedroom/bath, and laundry room on the main floor of the existing single family dwelling.



500 Duane Street

F. Previous Applications: Building permits were submitted and approved for installation of a heat pump system to the upstairs (CA15-31). A permit to excavate the vacated right of way for Charter Communications services was approved in 2011.

II. BACKGROUND

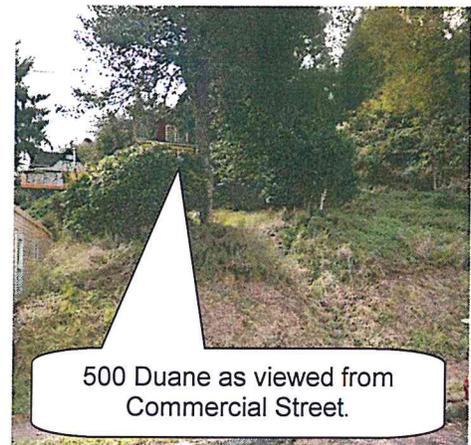
The subject property is currently a single family dwelling on a 7,500 square foot lot including part of a vacated right of way on 5th Street. It was built circle 1908 and moved to its current location in 1959.



500 Duane,
accessed from
Duane St.

The existing structure covers approximately 1,150 square feet of the 7,500 square foot lot for a total of 15% lot coverage. The R-2 Zone allows a maximum of 40% lot coverage. The south elevation of the house is existing, non-conforming and should have a 15' rear setback. The structure itself is a one and one-half story wood frame building with a basement and concrete foundation. The roof is cross gabled, with short eave returns. It is sloped to the North to cover the main front porch entrance.

The existing roofing is composition shingles. Windows are one-over one double hung with wood sash and flat wood surrounding trim. Siding is narrow wooden clapboard on the first floor, and shingles on the rest of the house. The building was moved to its current location from the West Commercial Street side of 1954.



The house is only accessible from Duane Street and is difficult to see from the north and East. See photo above.

The house is a secondary contributing vernacular property in good condition. No previous alterations have been noted beyond the installation of a heat pump.

III. PUBLIC REVIEW AND COMMENT

A public notice was mailed to all property owners within 100 feet pursuant to Section 9.020 on July 22, 2016. A notice of public hearing was published in the *Daily Astorian* on August 9, 2016. Any comments received will be made available at the Historic Landmarks Commission meeting.

IV. APPLICABLE REVIEW CRITERIA AND FINDINGS OF FACT

- A. Section 6.050(B) requires that unless otherwise exempted, no person, corporation, or other entity shall change, add to, or modify a structure or site in such a way as to affect its exterior appearance, if such structure is listed or identified as a Historic Landmark or as Primary or Secondary without first obtaining a Certificate of Appropriateness.

Finding: The structure is listed as secondary contributing in Hobson-Flavel Inventory area.

- B. Section 6.050(C) states that the Historic Preservation Officer shall approve an exterior alteration request if:

1. There is no change in historic character, appearance or material composition from the existing structure or feature; or
2. If the proposed alteration duplicates the affected building features as determined from a photograph taken during either the Primary or Secondary development periods, or other evidence of original building features; or
3. If the proposed alteration is required for the public safety due to an unsafe or dangerous condition.
4. If the proposed alteration relates to signage in scale to the architectural style of the building.

Finding: The request to expand the footprint of the house with the addition and removal of windows requires review by the Historic Landmarks Commission.

- C. Section 6.050(D) requires that the following standards shall be used to review exterior alteration requests. The standards summarized below involve the balancing of competing and conflicting interests. The standards are not intended to be an exclusive list, but are to be used as a guide in the Historic Landmark Commission's deliberations.

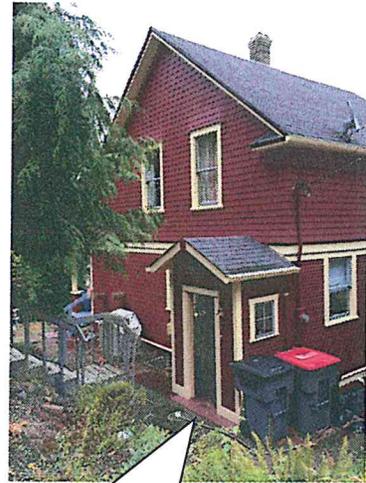
1. Section 6.050(D)(1) states that every reasonable effort shall be made to provide a compatible use for a property which requires minimal alteration of the building, structure, or site and its environment, or to use a property for its originally intended purpose.

Finding: The structure was originally built as a single family dwelling. The applicant suggested the owners are interested in home-stay lodging or operating a bed and breakfast in the future. Any transient lodging use would require approval through the Community Development office. The proposed improvements will increase the master bedroom, master bathroom, and laundry room.

2. Section 6.050(D)(2) states that the distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.

Finding: The side entrance enclosure is proposed for removal. The date of its addition to the building is unknown and likely occurred after the house was moved in 1959. A small amount of siding will need to be removed for doorway connections from the new addition to the existing structure.

Two (kitchen) wood windows will be removed. One will be relocated at an existing back door of the home. The other will be kept on site by the owner. No other removal or alteration to historic material is proposed.



Enclosure for removal

3. Section 6.050(D)(3) states that all buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.

Finding: Alterations do not seek to create an earlier appearance.



Windows for removal/relocation

4. Section 6.050(D)(4) states that changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.

Finding: The proposed alterations do not affect changes that may have acquired historic significance. The side entrance enclosure has siding

that does not match the house and was likely added on to the structure at an unknown date when the house was moved.

5. Section 6.050(D) (5) states that distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.

Finding: This vernacular home is characterized by the sloping roof, one over one double hung windows, cross gables, and short eave returns. The building will be treated with sensitivity. The proposed alterations will expand the footprint of the house and when possible, any siding removed will be used to fill in the new addition to provide better consistency.

Roofing will match the existing compositing shingle, and additional siding will be very similar to the existing horizontal siding.

The remaining historic features of the structure will be left intact. The doors and windows shall be installed to the historic depth and dimensions and trimmed to match trim work on existing historic house. Designs and material for the new side door that will be located on the south side of the new addition shall be submitted to the Community Development office for approval prior to installation. All glass in the door shall be clear, and lites shall be true divided.

With the conditions noted, distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.

6. Section 6.050(D) (6) states that deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.

Finding: No deteriorated features are proposed for repair. Materials for the new construction will match the existing historic features; no pictorial evidence was available.

7. Section 6.050(D)(7) states that the surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.

Finding: No surface cleaning is proposed

8. Section 6.050(D)(8) states that every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.

Finding: Archaeological resources, if any, will not be affected.

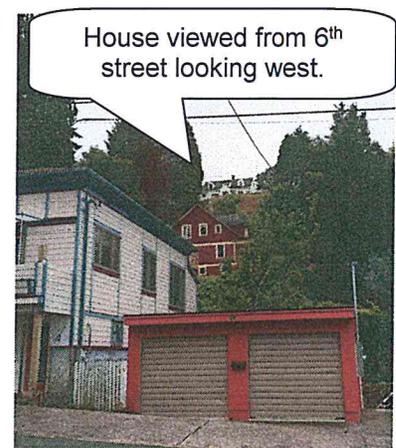
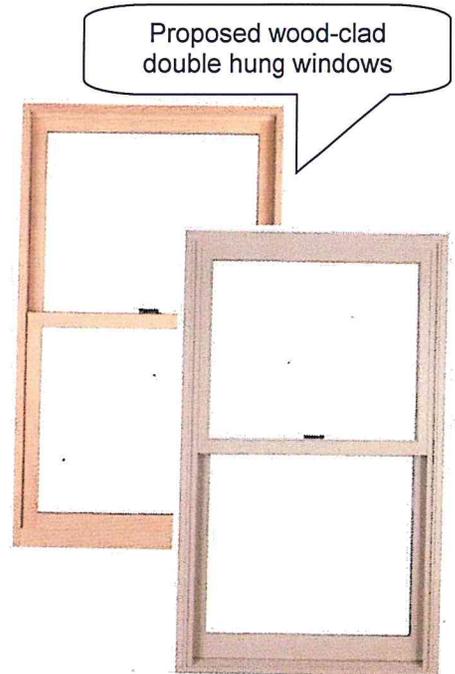
9. Section 6.050(D)(9) states that contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and addition do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood or environment.

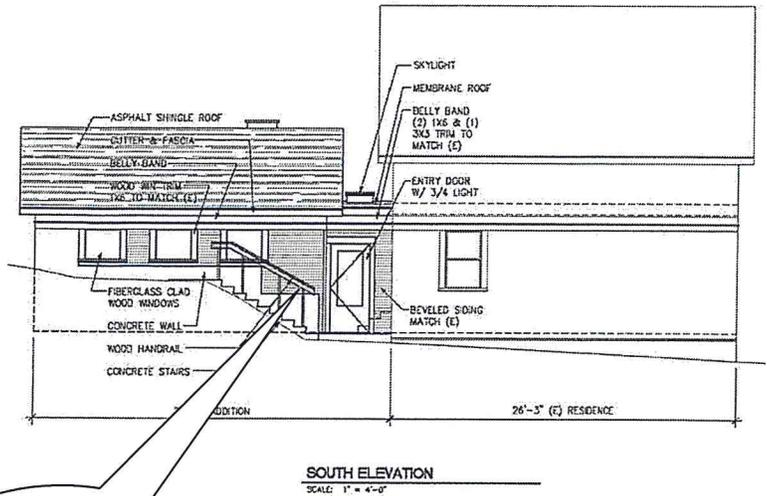
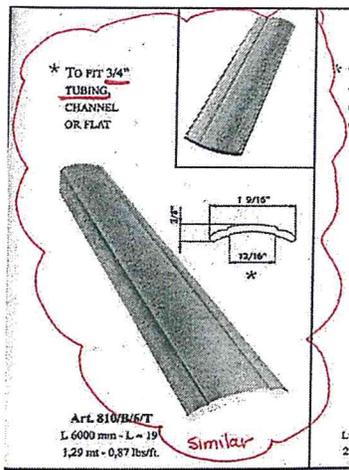
Finding: Proposed alterations are using materials similar to the original existing home. The proposed alterations use contemporary materials, which could be considered sympathetic to the structure, particularly if the trim detail is maintained for the proposed door and windows (both the relocated window and new wood clad windows).

Any visible wood used for trim around the doors and/or windows shall be free of pressure treatment incision marks, and shall be painted to match the house.

The proposed expansion will add 600 square feet to the existing home. It is compatible in size, and will extend the structure west towards the vacated right of way. The expansion will be difficult to see from the adjacent properties.

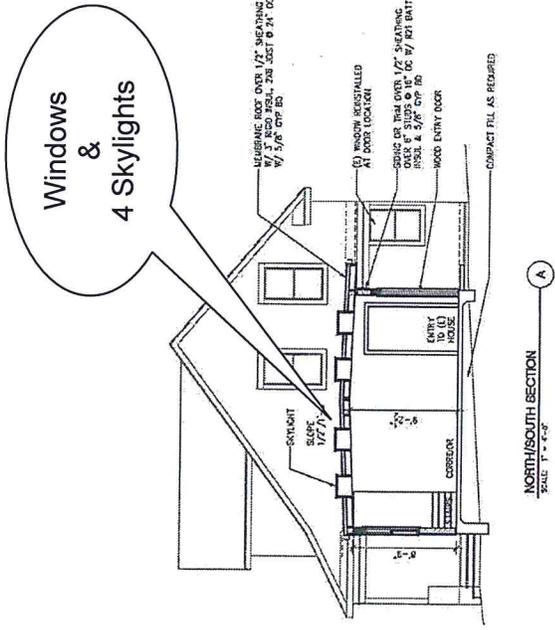
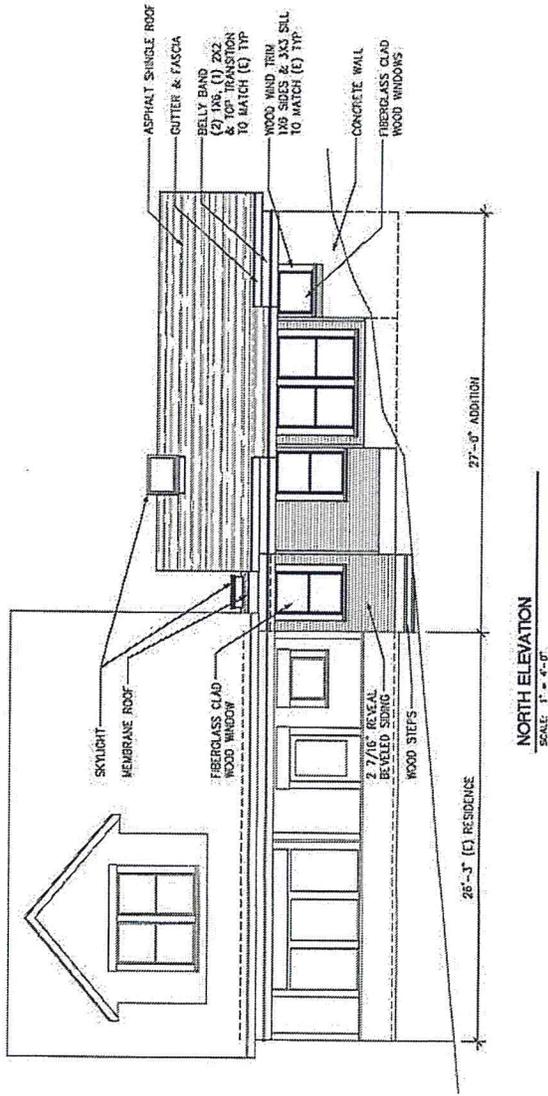
Similarly, the addition of a railing and concrete stairs will be difficult to see from the street. Railing details are on the following page. The proposed end piece is 5 7/8" x 11 13/16". The handrail will fit 3/4" tubing, similar to the photo below.





10. Section 6.050(D)(10) states that wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

Finding: The alterations proposed to the structure can be done in such a manner that if they were removed in the future, the essential form and integrity of the structure would be unimpaired.



Example of curb mounted skylights. Proposed model is appx 2'x2'

Windows & 4 Skylights

V. CONCLUSION AND RECOMMENDATION

The request meets the applicable review criteria. Staff recommends approval of the request based on the Findings of Fact above with the following conditions:

1. Any transient lodging use (rental for less than 30 days) would require approval through the Community Development office. The applicant shall submit a business license, hotel/motel tax forms and parking plan should they choose to pursue any homestay lodging or bed and breakfast use.
2. The applicant or owner shall submit designs for the new entry door prior to installation.
3. The applicant or owner shall submit a geotechnical report at the time of building permitting for review by Public Works. As noted in the pre-application meeting, Public Works recommends connecting the site and new addition to a dedicated storm system.
4. The doors and windows shall be installed to the historic depth and dimensions and trimmed to match trim work on existing historic house. All glass in the door shall be clear, and lites shall be true divided.
5. Any visible wood shall be free of pressure treatment incision marks, and all wood, shall be painted to match the house.
6. Significant changes or modifications to the proposed plans as described in this Staff Report shall be reviewed by the Historic Landmarks Commission.

The applicant should be aware of the following requirements:

The applicant shall obtain all necessary City and building permits prior to the start of construction.



CITY OF ASTORIA
 Founded 1811 • Incorporated 1858
COMMUNITY DEVELOPMENT

CITY OF ASTORIA

JUN 14 REC'D
 PR-APP 6/22 → AG HLC
BUILDING CODES

EX 16-08

FEE: \$100.00
 PAID 6-22-16 check 15481

EXTERIOR ALTERATION FOR HISTORIC PROPERTY

Property Address: 500 Duane St. Astoria, OR 97103
 Lot Portion of 5th St Block - Subdivision McClure
59' & 1/2' ROW
 Map 7DA Tax Lot 9000 Zone R-2

For office use only:	
Classification: <u>Site zone</u>	Inventory Area: <u>Hobson-Flavel Hist Inv. Area</u>
<u>Contributing/Secondary</u>	

Applicant Name: Michelle Dieffenbach
 Mailing Address: 37734 Eagle Lane, Astoria, OR 97103
 Phone: 503-325-3749 Business Phone: same Email: michelle@rcibuilds.com

Property Owner's Name: Patti Breidenbach
 Mailing Address: 500 Duane St. Astoria, OR 97103
 Business Name (if applicable): none

Signature of Applicant: Michelle Dieffenbach
 Signature of Property Owner: Patricia A. Breidenbach

Existing Construction and Proposed Alterations: 600 square feet addition
on west side of residence.

For office use only:			
Application Complete:	<u>7/12/16</u>	Permit Info Into D-Base:	<u>6-23-16</u>
Labels Prepared:	<u>6-23-16</u>	Tentative HLC Meeting Date:	<u>8/16/16</u> <u>C</u>
120 Days:			

FILING INFORMATION: Historic Landmarks Commission meets at 5:15 pm on the third Tuesday of each month. Complete applications must be received by the 13th of the month to be on the next month's agenda. A pre-application meeting with the Planner is required prior to the acceptance of the application as complete. **Only complete applications will be scheduled on the agenda.** Your attendance at the Historic Landmarks Commission meeting is recommended.

Briefly address each of the Exterior Alteration Criteria and state why this request should be approved. (Use additional sheets if necessary.):

1. Every reasonable effort shall be made to provide a compatible use for a property which requires minimal alteration of the building, structure, or site and its environment, or to use a property for its originally intended purpose.
The addition is a master bedroom, bath & laundry room
on the main floor of the residence.
2. The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.
The entrance enclosure will be removed. This is the back
entrance & I don't believe was original. A small amount
of siding & doorway connections from new to existing
will be made. No removal or alteration to historic material is planned
3. All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.
The new addition will be constructed with similar materials,
detail & scale as the existing residence.
4. Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
No significant changes have been made to the
residence.
5. Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.
No stylistic features or craftsmanship will be
removed or altered.
6. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
Two wood windows will be removed. One will be
relocated at an existing back door into the
residence. The other one will be kept on site
by the owner.

7. The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.

No extensive surface cleaning will happen.

8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.

There are no known archaeological resources at or adjacent to the area affected by the addition.

9. Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and addition do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood or environment.

The existing home has many design features which are currently used in new construction. The addition will be similar to the existing ~~structure~~ in color, scale, materials & character.

10. Wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

This addition could be removed and the house returned to its original state, if so desired.

PLANS: A site plan indicating location of structure on the property and the location of the proposed alterations is required. Diagrams showing the proposed alterations indicating style and type of materials proposed to be used. Scaled free-hand drawings are acceptable. The City may be able to provide some historic technical assistance on your proposal.

198 BUILDING NAME: Historic: Unknown
Present: Unknown
ADDRESS: 500 Duane Street, Astoria
CLASSIFICATION: Secondary
RESOURCE TYPE: Building
YEAR BUILT: 1908; moved c. 1959
STYLE: Vernacular

ALTERATIONS: Gable roofed entry on west side, date unknown

OWNER'S NAME AND ADDRESS: Iris Gross
500 Duane Street
Astoria, Oregon 97103

ASSESSOR'S MAP #: Sect. 07 T8N R9W WWM 89 07 DA ADDITION: McClures
BLOCK #: 30 LOT #:8 TAX LOT #: 9000 S.I. #: 554

USE: Residence

DESCRIPTION: This one and one-half story wood frame building is rectangular in plan, with a basement and concrete foundation. The roof is cross gable, with short eave returns and with the north slope of the main roof elongated to cover the main entrance porch. The roofing material is composition shingles. There is a centrally located projecting corbeled brick chimney. The primary window type is a one-over-one double hung wood sash with flat wood surrounding trim. The exterior wall finish is a narrow clapboard wood siding on the first floor, with wood shingles laid in a regular coursed simple pattern. Originally built as a single family residence, the building was moved to its hillside sloping mid-block site in about 1959 from the west Commercial Street slide of 1954. The building is in good condition.



CITY OF ASTORIA
Founded 1811 • Incorporated 1858

June 23, 2016

Rickenbach Construction
Attn: Michelle Dieffenbach
37734 Eagle Lane
Astoria, OR 97103

RE: EX 16-08 at 500 Duane St Astoria, OR for Patti Breidenbach

Dear Applicant:

Thank you for discussing your project proposal at the pre-application meeting held June 22, 2016. After review of your application referenced above, the application has been deemed to be incomplete. The following items are still required for a complete application:

1. Additional information on the proposed use of the site for meeting the following Exterior Alteration for Historic Property:
 - a. *Material specifications and additional details on the installation and relocation of the existing windows*
 - b. *Specifications for the proposed skylights including materials and dimensions. Will they be painted to match the house or roof?*
 - c. *Specifications and detailing for the handrail and stairs*
2. In addition to these materials needed for processing the Exterior Alteration application please submit the following to Public Works Staff:
 - a. *The Geotechnical Report (to be submitted when requesting building permits)*
 - b. *Information on the installation of a retaining wall*
3. The project has been initially reviewed by the Building Inspector, who was out not available at the pre-application meeting. The building inspector has initially approved the project per a conversation on 6-23-16. Troy McNeeley can be reached at 503-502-2905. I emailed him your plans prior to the pre-application meeting. When submitting building permits, please include the following:
 - a. *Wall bracing plans*
 - b. *Foundation plans*
 - c. *Additional energy measures.*

Please acknowledge, in writing, your intent to provide the material required to complete the application, as identified above. To do this, please sign below and return this acknowledgement to the Community Development Department, 1095 Duane Street, Astoria OR 97103.

A public notice on your request will be mailed and published after your application is deemed complete. Complete applications are due by July 20th for the August 16th Historic Landmarks Commission meeting. Please submit the materials requested by the July 20th deadline, or earlier if possible.

If you do not return this acknowledgement, such action will be considered to be a refusal to submit the needed information. Your application will then be processed based upon the information you have previously submitted. Note that failure to submit sufficient evidence or material to demonstrate compliance with the applicable criteria is grounds for denial of the application.

ACKNOWLEDGMENT

I (intend / do not intend) to provide the additional material identified in this correspondence from the Community Development Department.

Signed and Acknowledged (Applicant signature)

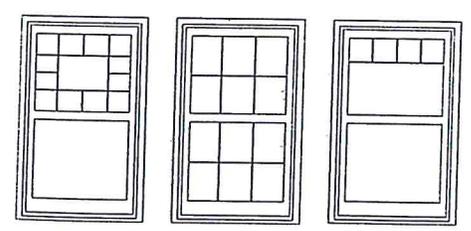
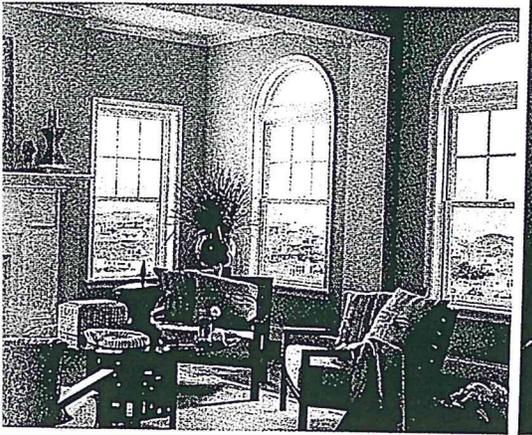
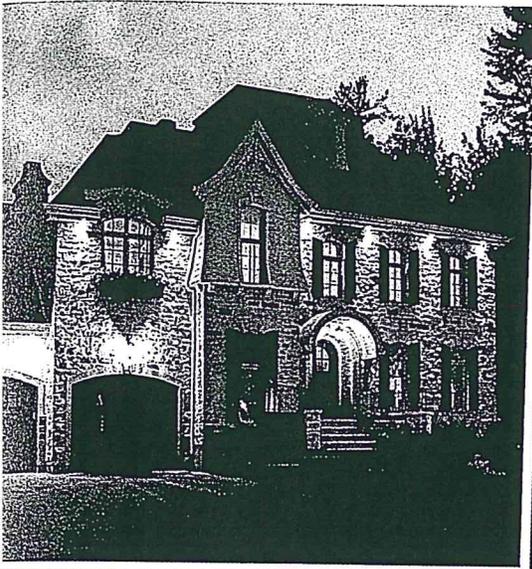
Date

If you have any questions, or need additional information, please contact me at 503-338-5183 or nferber@astoria.or.us

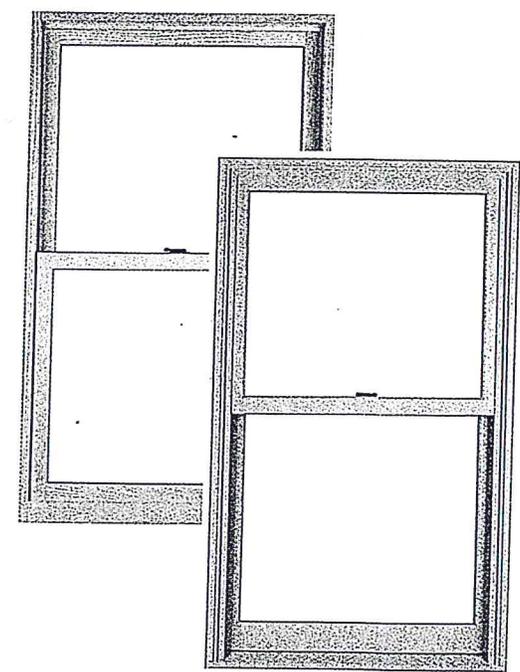
Sincerely,

Nancy Ferber
City Planner
Community Development Department
City of Astoria
1095 Duane Street
Astoria, OR 97103
(w)503-338-5183
(c) 971-704-4000
nferber@astoria.or.us
www.astoria.or.us

Double Hung



Milgard® Essence Series® double hung windows have architecturally accurate details such as a $3\frac{1}{4}$ " tall exterior bottom rail on the sash and 14° exterior sloped sills. The new tilt latch with recessed release and the SmartTouch® lock make the window very easy to open and create a streamlined, clean look. You can also choose a spoon lock for a more historically authentic look or to more closely complement existing wood windows in your home.

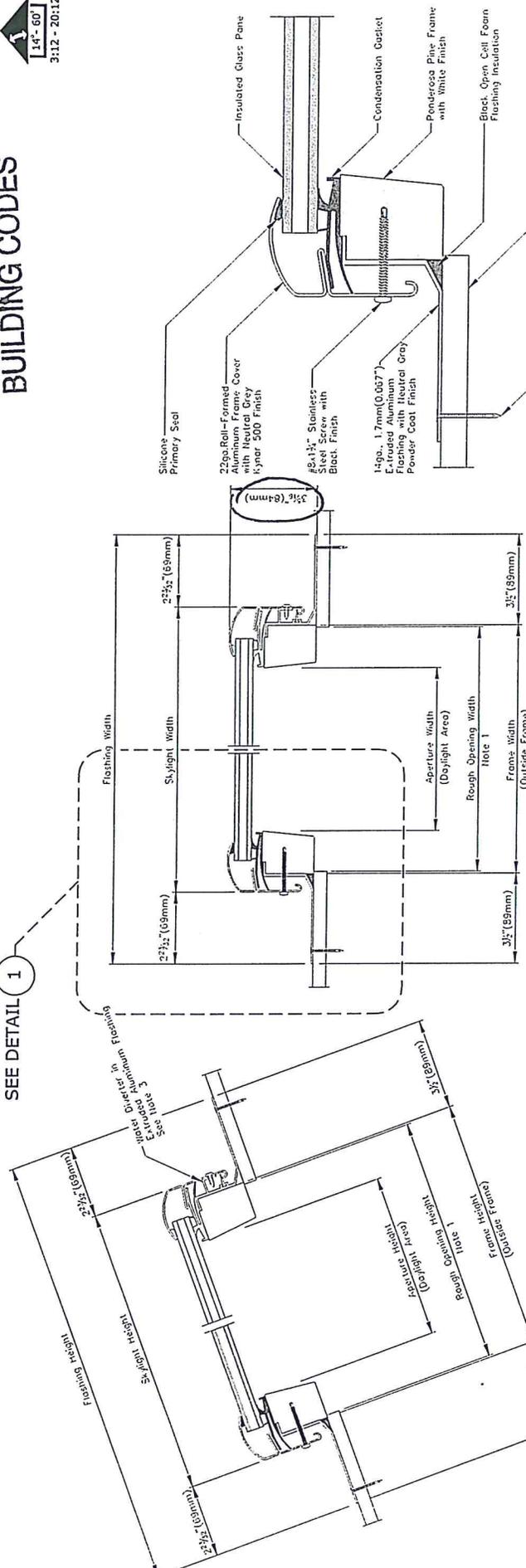


Tilt latches
For double hung and glider
Shown in oil rubbed bronze

BUILDING CODES



SEE DETAIL 1



VERTICAL CROSS SECTION

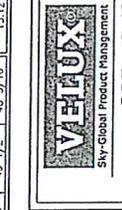
HORIZONTAL CROSS SECTION

DETAIL 1

PRODUCT DIMENSIONS

Site	METRIC UNITS (MILLIMETERS)						IMPERIAL UNITS (INCHES)						Daylight Area (Square Feet)			
	Rough Opening Width	Frame Width	Flashing Width	Aperture Width	Skylight Width	Rough Opening Height	Frame Height	Flashing Height	Aperture Height	Skylight Height	Rough Opening Height	Frame Height		Flashing Height	Aperture Height	Skylight Height
2222	572	575	753	494	615	572	575	753	494	615	22 1/2	22 5/8	29 5/8	19 1/2	24 3/16	2 63
2230	572	575	753	494	615	775	778	956	697	818	22 1/2	22 5/8	29 5/8	19 1/2	24 3/16	3 71
2246	572	575	753	494	615	1181	1184	1362	1104	1225	24 3/16	24 5/8	31 5/8	21 1/2	26 1/16	5 67
3030	775	778	956	697	818	775	778	956	697	818	30 1/2	30 5/8	37 5/8	27 1/2	32 3/16	5 24
3046	775	778	956	697	818	1181	1184	1362	1104	1225	30 1/2	30 5/8	37 5/8	27 1/2	32 3/16	8 29
4646	1181	1184	1362	1104	1225	1181	1184	1362	1104	1225	46 1/2	46 5/8	53 5/8	43 1/2	48 3/16	13 12

- STANDARD GLAZING OPTIONS:
- Laminated LowE3 (04)
 - Tempered LowE3 (05)
 - Impact (06)
 - White Laminated (10)



NOTES:

1. The ROUGH OPENING dimension is based on perpendicular interior finish material on all four sides and this dimension will vary depending on the roof construction, the thickness and the design of the interior finish material.
2. 2" nails fasten flashing to rafters through holes at each top and bottom corner. 1/4" nails to fasten flashing to roof deck through pre-punched holes along flashing flange.
3. Water diverter provided along top and right side, as viewed from exterior. Skylight can be rotated so that right side is at top for applications where skylight needs to be rotated 90 degrees.

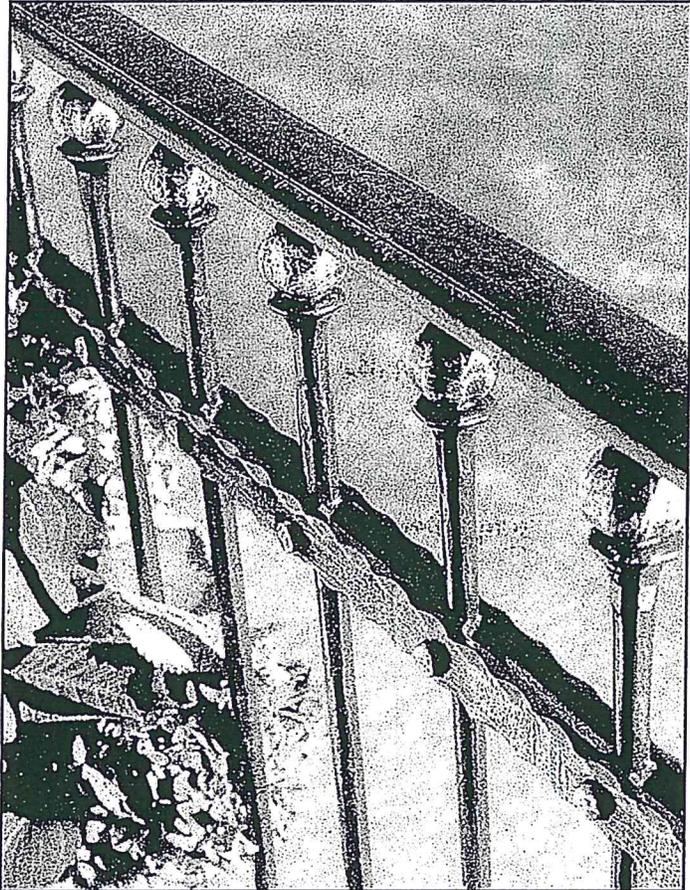
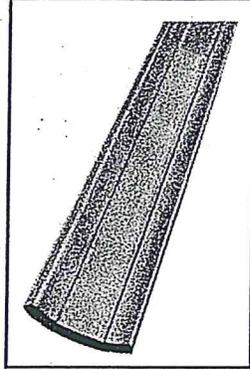
This drawing is an instrument of service and is provided for informational use only.

© 2014 VELUX GROUP

VELUX is a registered trademark

HANDRAILS

* TO FIT 9/16"
SQUARE
BAR

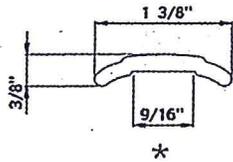


CITY OF ASTORIA

JUL 12 REC'D

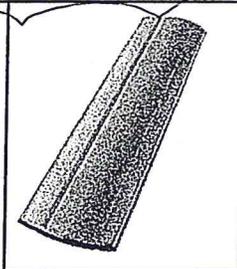
BUILDING CODES

Art. 810/B/5/T
L 6000 mm - L ≈ 19'
1,54 mt - 1,03 lbs/ft.

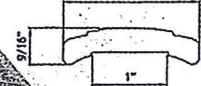
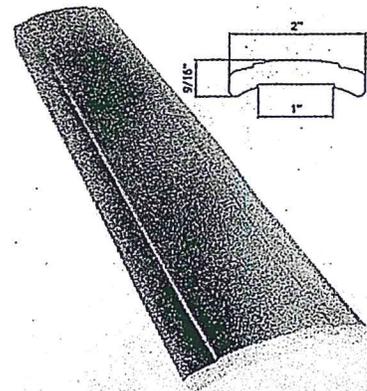
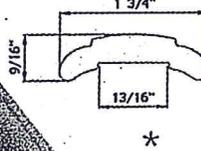
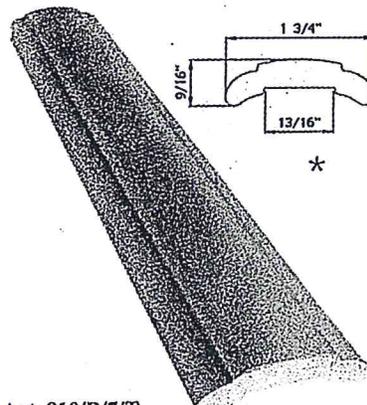
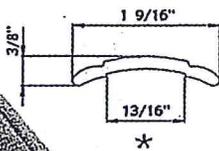
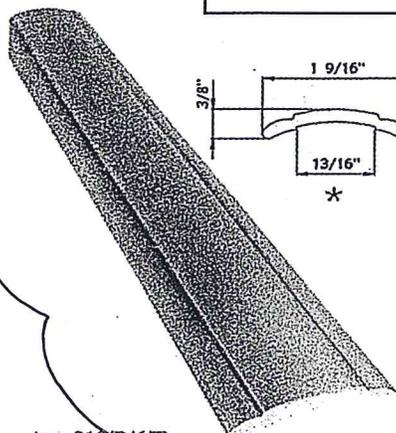
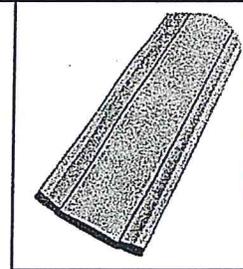
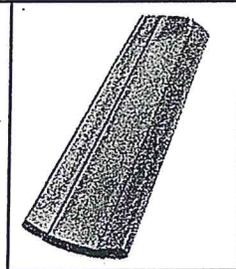


Sizes in inches and millimeters are approximate - Weights in pounds and Kilograms are approximate

* TO FIT 3/4"
TUBING,
CHANNEL
OR FLAT



* TO FIT 3/4"
TUBING,
CHANNEL
OR FLAT



Art. 810/B/6/T
L 6000 mm - L ≈ 19'
1,29 mt - 0,87 lbs/ft.

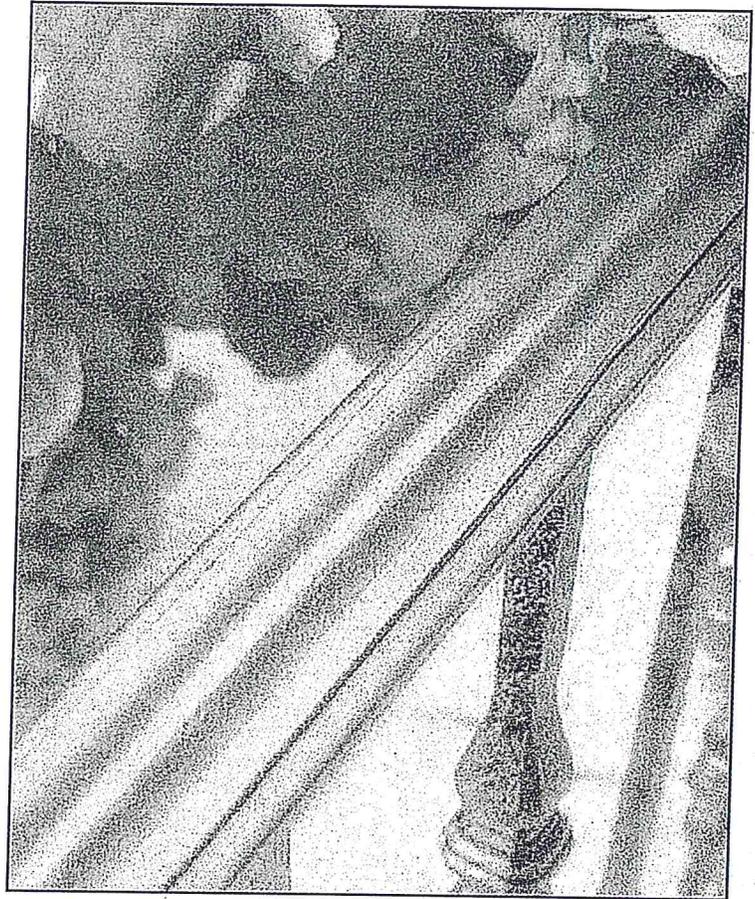
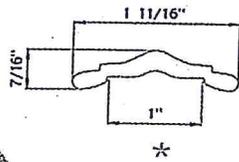
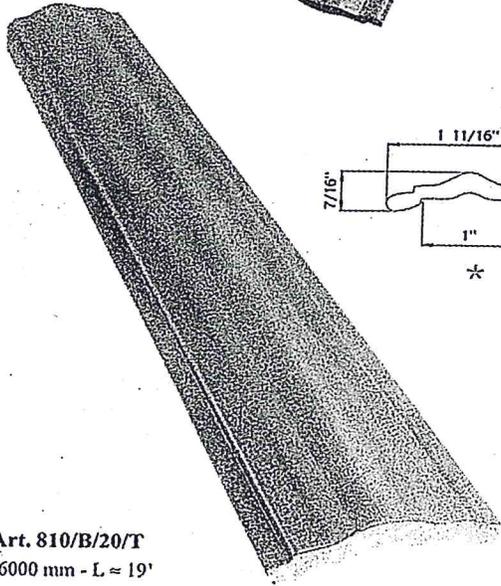
Similar

Art. 810/B/7/T
L 6000 mm - L ≈ 19'
2,62 mt - 1,76 lbs/ft.

Art. 810/B/8/T
L 6000 mm - L ≈ 19'
3,54 mt - 2,37 lbs/ft.

HANDRAILS

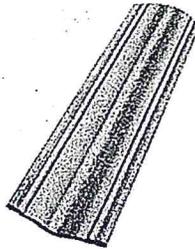
* TO FIT 1" TUBING,
CHANNEL
OR FLAT



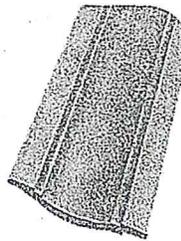
Art. 810/B/20/T
L 6000 mm - L ≈ 19'
1,63 mt - 1,09 lbs/ft.

Sizes in inches and millimeters are approximate - Weights in pounds and Kilograms are approximate

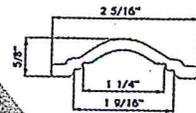
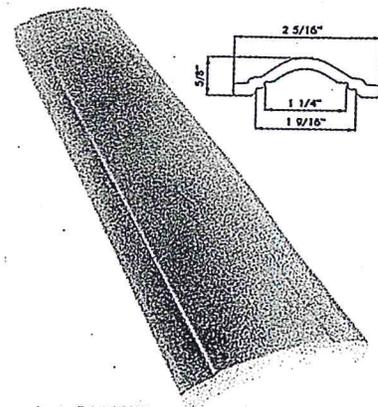
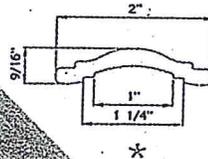
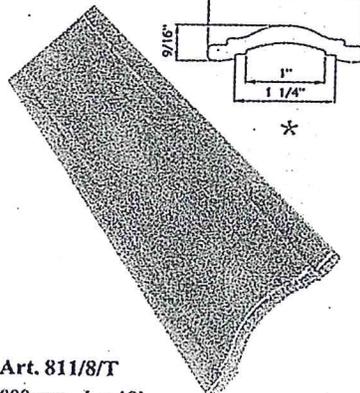
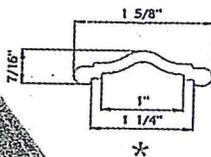
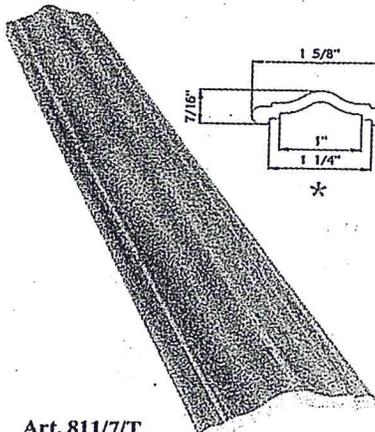
* TO FIT
1 1/4"
TUBING,
CHANNEL
OR FLAT



* TO FIT
1 1/4"
TUBING,
CHANNEL
OR FLAT



* TO FIT 1 1/4"
TUBING,
CHANNEL
OR FLAT

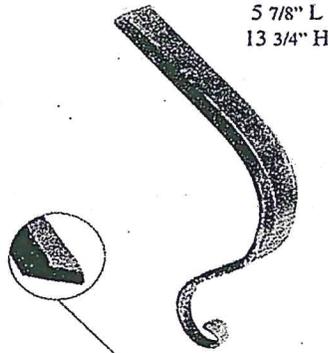


Art. 811/7/T
L 6000 mm - L ≈ 19'
1,62 mt - 1,09 lbs/ft.

Art. 811/8/T
L 6000 mm - L ≈ 19'
2,09 mt - 1,40 lbs/ft.

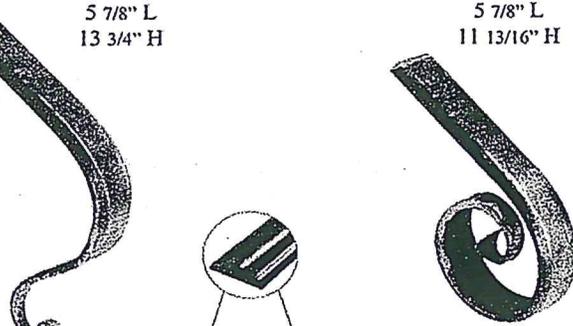
Art. 811/6/T
L 6000 mm - L ≈ 19'
2,63 mt - 1,76 lbs/ft.

END PIECES FOR HANDRAILS



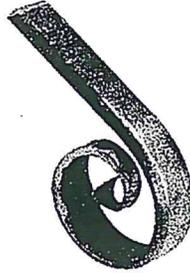
5 7/8" L
13 3/4" H

Art. 115/1
for handrail Art 114/1
Wt. 6.6 lbs.



5 7/8" L
11 13/16" H

Art. 115/2
for handrail Art 114/2
Wt. 5.5 lbs.



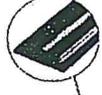
Art. 115/3
for handrail Art 114/2
Wt. 6 lbs.



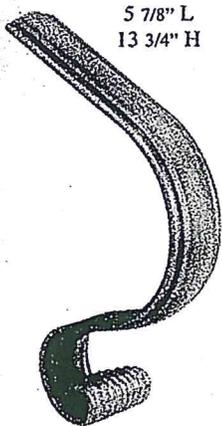
17 3/4" L
35 7/16" H

Art. 115/4
for handrail Art 114/1
Wt. 8.2 lbs.

Art. 115/5
for handrail Art 114/1
Wt. 9.9 lbs.



Art. 115/6
for handrail Art 114/2
Wt. 8.8 lbs.



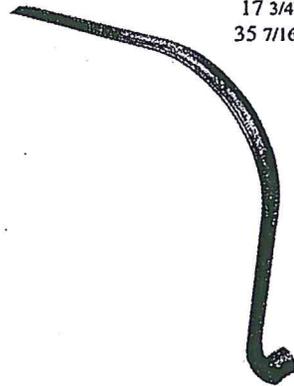
5 7/8" L
13 3/4" H

Art. 114/B/14
for handrail Art 114/A/3
Wt. 5.8 lbs.



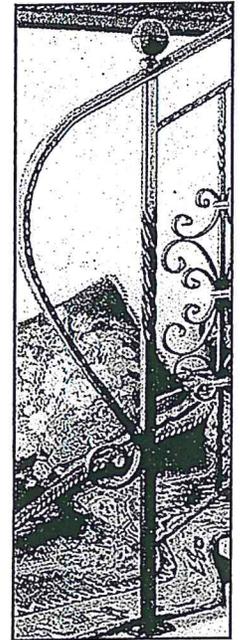
5 7/8" L
11 13/16" H

Art. 114/B/13
for handrail Art 114/A/3
Wt. 5.8 lbs.



17 3/4" L
35 7/16" H

Art. 114/B/15
for handrail Art 114/A/3
Wt. 14.5 lbs.



Art. 1377/12
for handrail Art 1373/4
Wt. 3.5 lbs.



Art. 1377/25
for handrail Art 1373/4
Wt. 17 lbs.



Art. 1377/38
for handrail Art 1373/4
Wt. 8.6 lbs.



Art. 9154/1
for handrail Art 811/2
Wt. 6.9 lbs.



Art. 812/14
for handrail Art 811/2
Wt. 6.9 lbs.

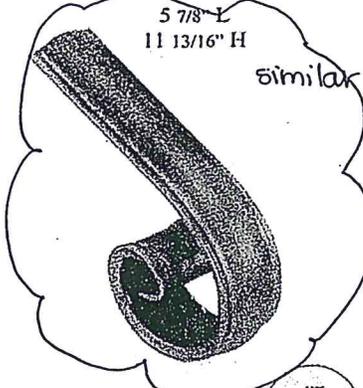
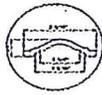


Art. 9154/2
for handrail Art 811/2
Wt. 17.2 lbs.



5 7/8" L
13 3/4" H

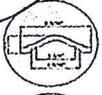
Art. 1377/40
for handrail Art 811/6
Wt. 3.8 lbs.



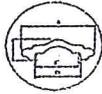
5 7/8" L
11 13/16" H

similar

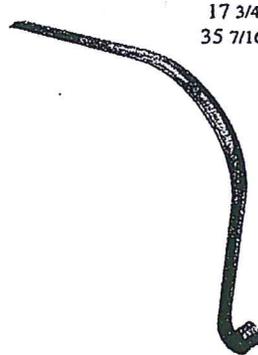
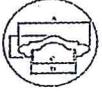
Art. 812/12
for handrail Art 811/6
Wt. 3.8 lbs.



Art. 1377/41
for handrail Art 811/7
Wt. 3 lbs.

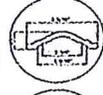


Art. 812/13
for handrail Art 811/7
Wt. 3 lbs.

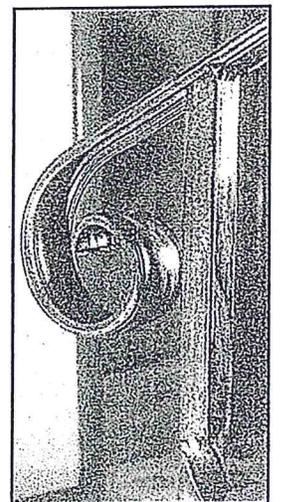
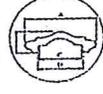


17 3/4" L
35 7/16" H

Art. 9154/3
for handrail Art 811/6
Wt. 9.5 lbs.

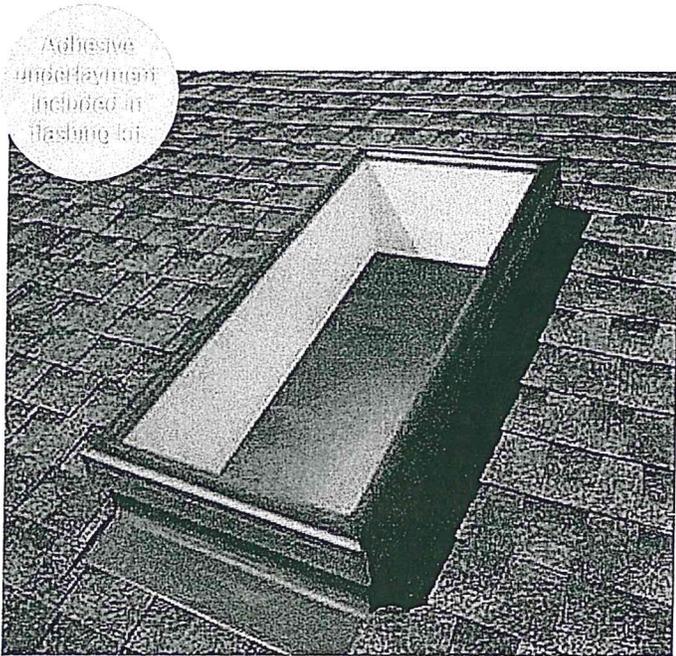


Art. 9154/4
for handrail Art 811/7
Wt. 7.5 lbs.



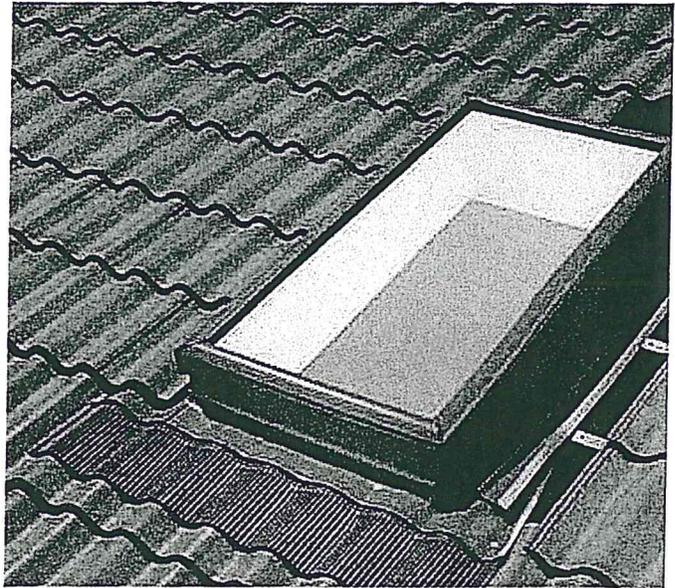
Curb mounted flashing systems

Flashing must be purchased with skylights and installed properly to benefit from the No Leak warranty



Shingles/shakes - ECL

- Step flashing pieces interweave with roofing material for proper water drainage.
- Additional step pieces (ZZZ 200) are required for shakes and other thick roofing materials.



Tile roofing - ECW

- Patented sill flashing features pliable pleats that form to most types of tile.
- Side and head flashing pieces form a gutter to direct water away from the skylight.

Note: Also available for 14" & 22" curbmount SUN TUNNEL



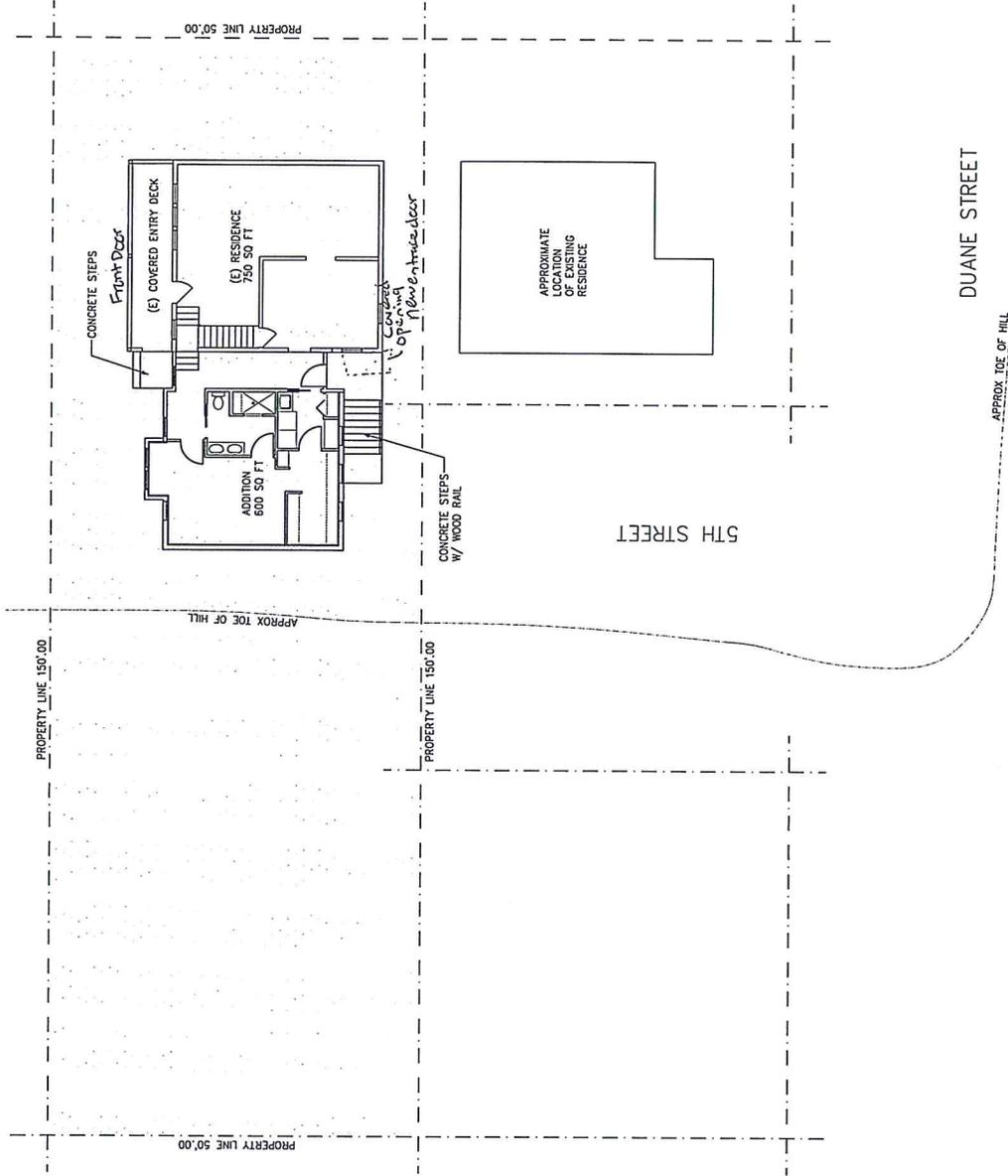
ADDITION OF:
LIVING SPACE
500 DUANE STREET
ASTORIA, OR 97103

PATT BREIDENBACH
500 DUANE STREET
ASTORIA, OR 97103
208-921-6465

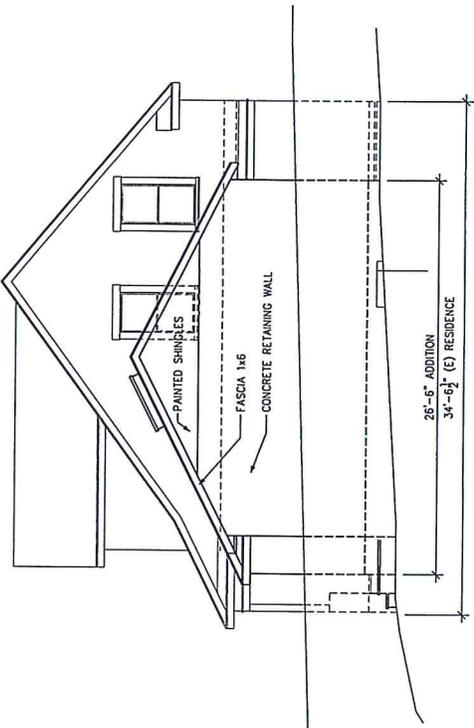
PRE-LUMINARY
DATE: 05/16
DATE REVISED:

DRAWN BY:
MJD
FILE NAME:

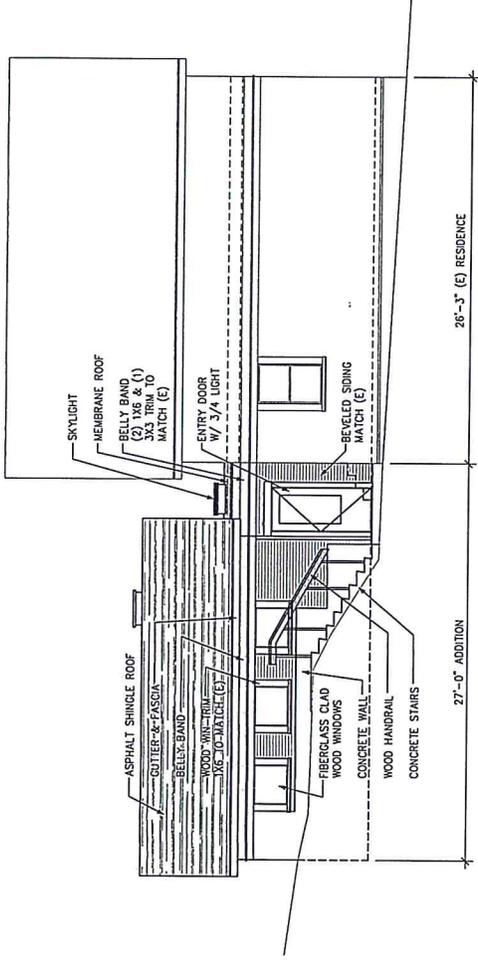
SHEET:
A-1



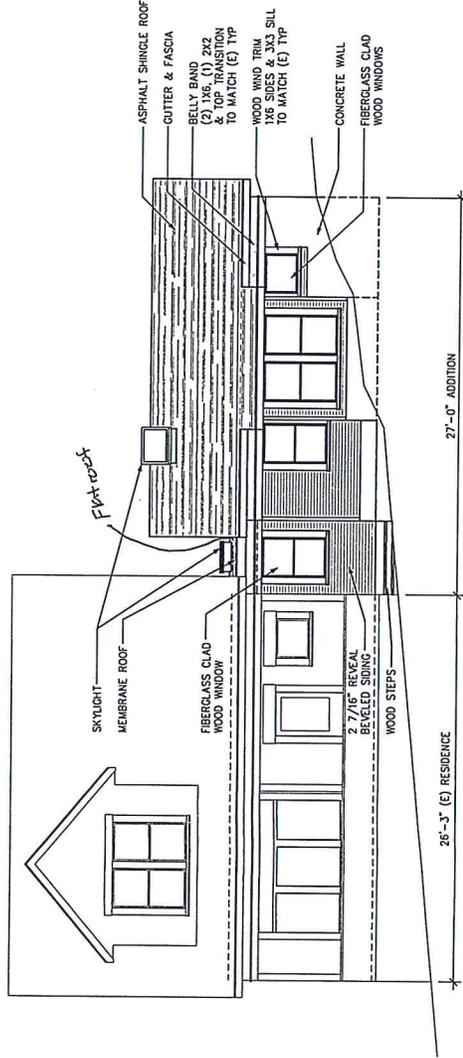
SITE PLAN
SCALE: 1" = 16'-0"



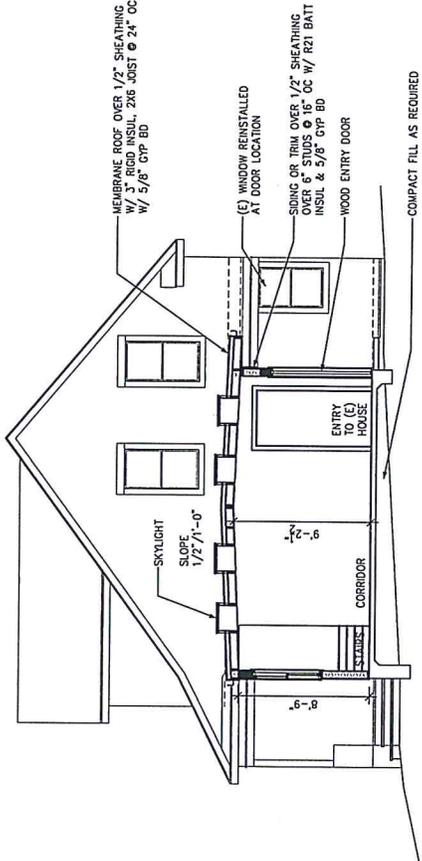
WEST ELEVATION
 SCALE: 1" = 4'-0"



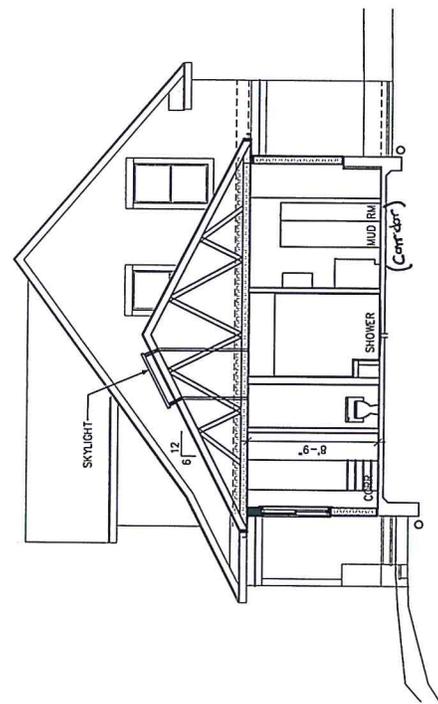
SOUTH ELEVATION
 SCALE: 1" = 4'-0"



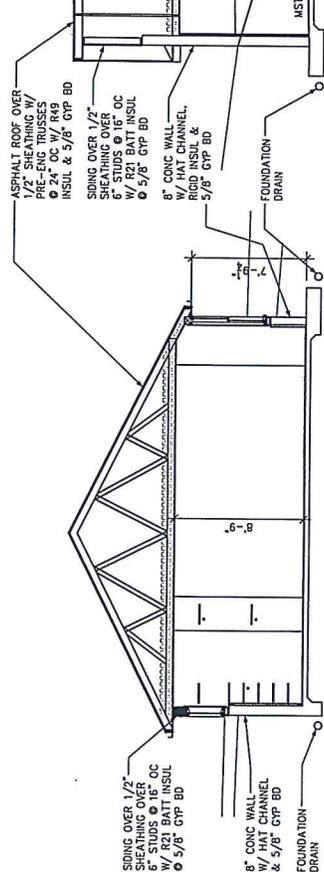
NORTH ELEVATION
 SCALE: 1" = 4'-0"



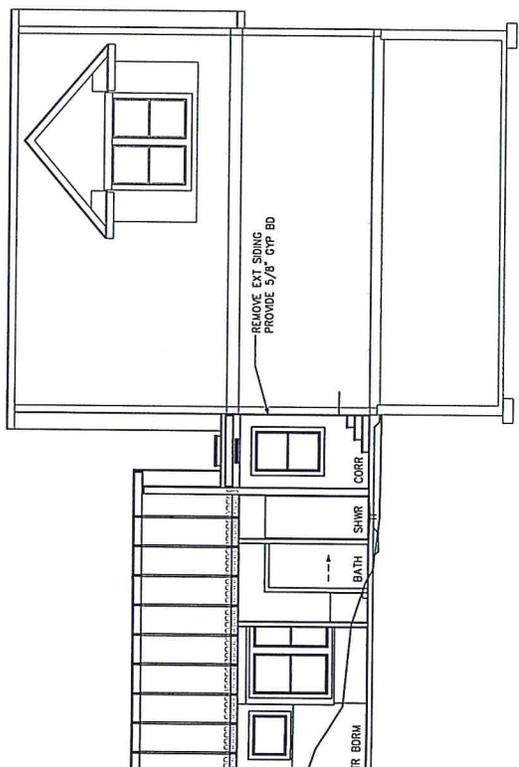
A
 NORTH/SOUTH SECTION
 SCALE: 1" = 4'-0"



B
 NORTH/SOUTH SECTION
 SCALE: 1" = 4'-0"



C
 NORTH/SOUTH SECTION
 SCALE: 1" = 4'-0"



D
 EAST/WEST SECTION
 SCALE: 1" = 4'-0"

RICKENBACH CONSTRUCTION INCORPORATED
 1010 10th Street, Astoria, OR 97103
 ARCHITECT: MICHELLE DUFFENBACH

ADDITION OF:
 LIVING SPACE
 500 DUANE STREET
 ASTORIA, OR 97103

PATTI BREIDENBACH
 500 DUANE STREET
 ASTORIA, OR 97103
 208-921-6465

PRE-LIMINARY
 DATE: 6-9-16
 DATE REVISED:
 DRAWN BY:
 WRD
 FILE NAME:

SHEET:
 A-4



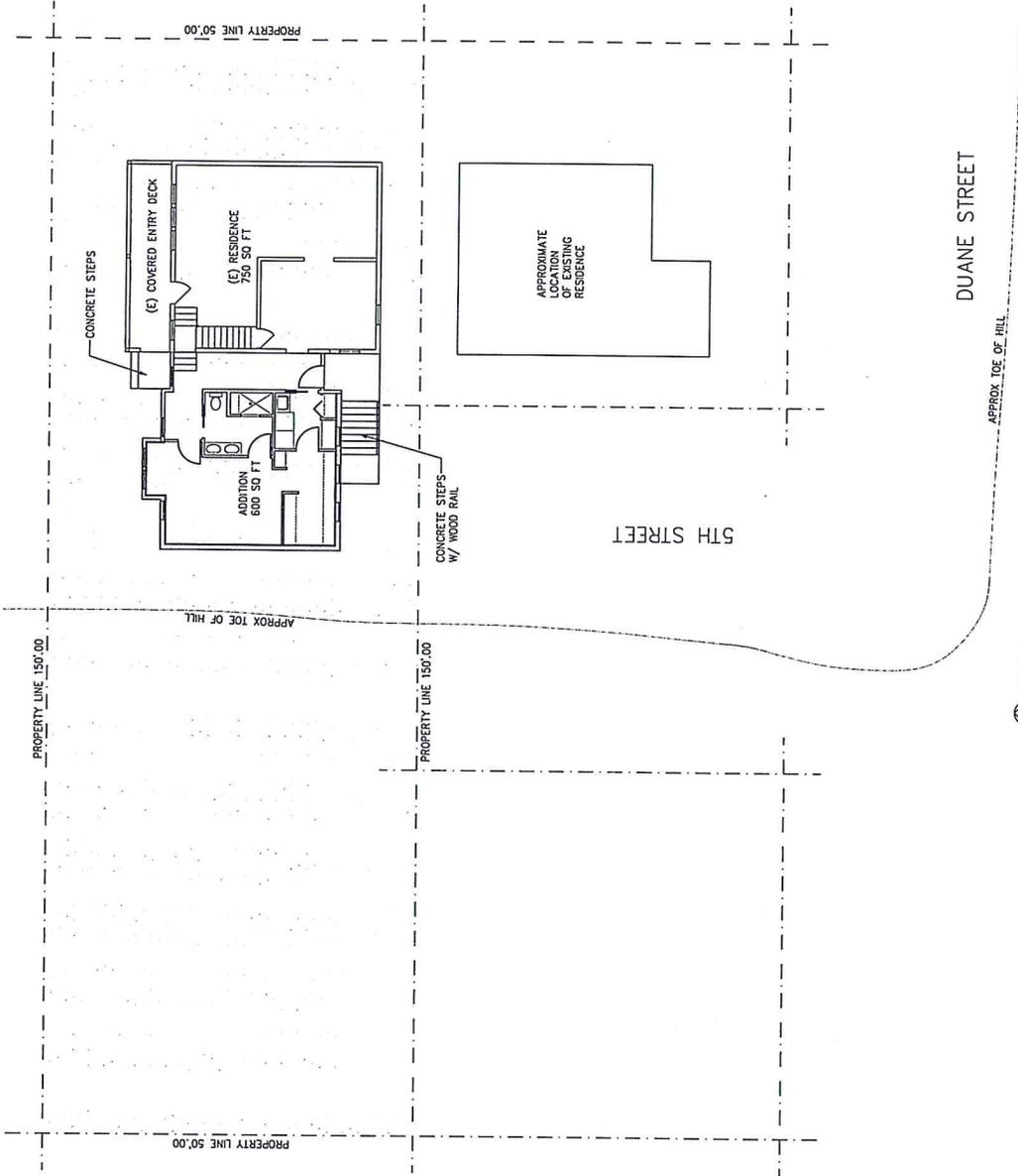
ADDITION OF:
LIVING SPACE
500 DUANE STREET
ASTORIA, OR 97103

PATTI BREIDENBACH
500 DUANE STREET
ASTORIA, OR 97103
208-921-6465

PRE-LIMINARY
DATE:
6-9-16
DATE REVISED:

DRAWN BY:
FILE NAME:

SHEET:
A-1



SITE PLAN
SCALE: 1" = 16'-0"

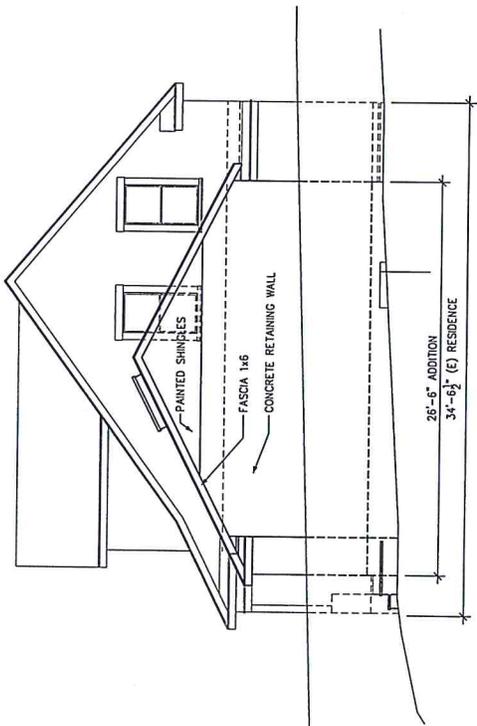
ADDITION OF:
 LIVING SPACE
 500 DUANE STREET
 ASTORIA, OR 97103

PATTI BREIDENBACH
 500 DUANE STREET
 ASTORIA, OR 97103
 208-921-6465

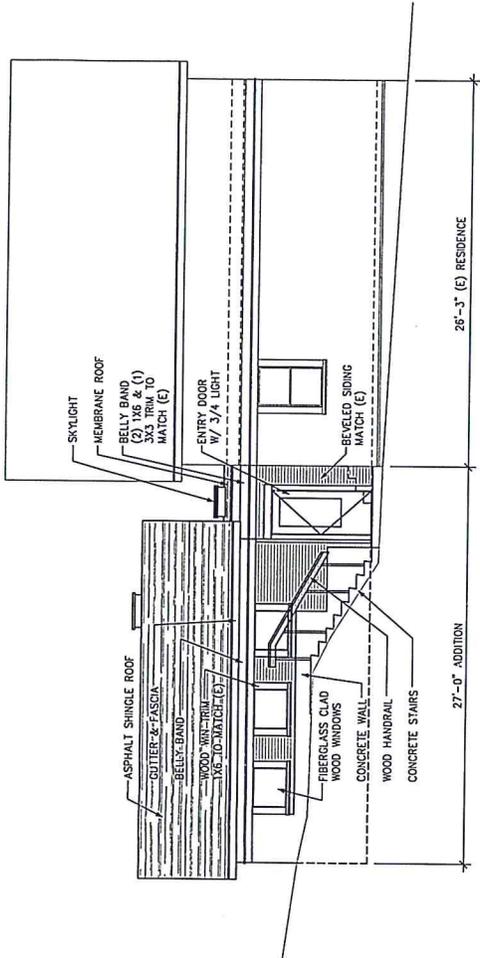
PRE-LIMINARY
 DATE: 6-9-16
 DATE REVISED:

DRAWN BY:
 MRD
 FILE NAME:

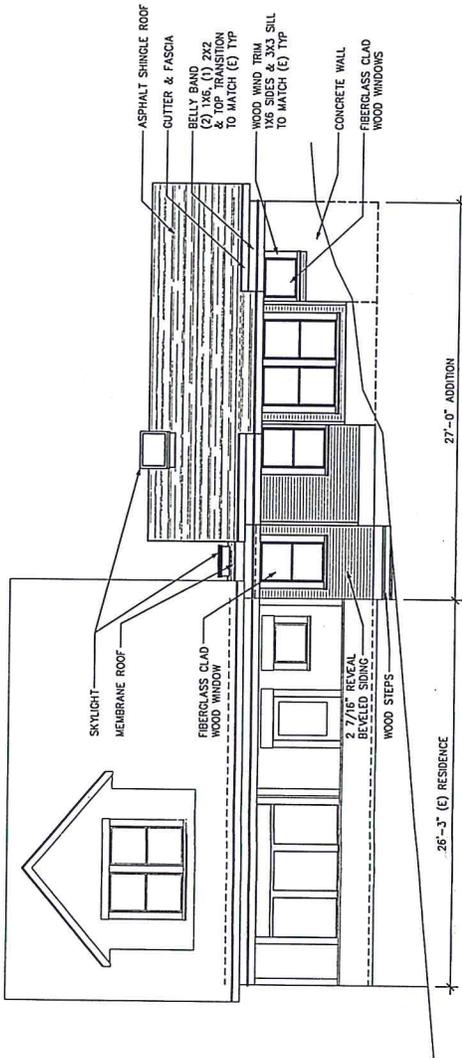
SHEET:
 A-3



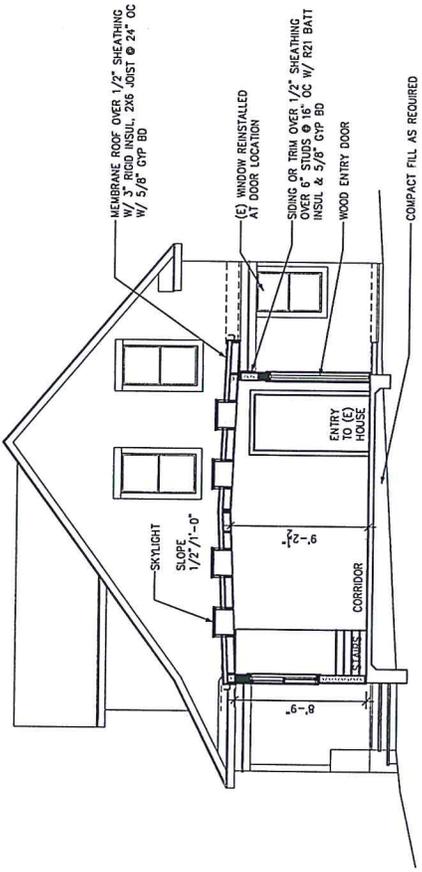
WEST ELEVATION
 SCALE: 1" = 4'-0"



SOUTH ELEVATION
 SCALE: 1" = 4'-0"

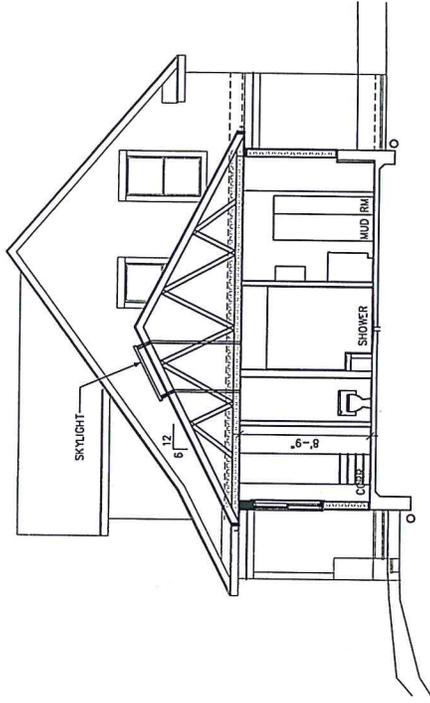


NORTH ELEVATION
 SCALE: 1" = 4'-0"



NORTH/SOUTH SECTION
SCALE: 1" = 4'-0"

NORTH/SOUTH SECTION
SCALE: 1" = 4'-0"



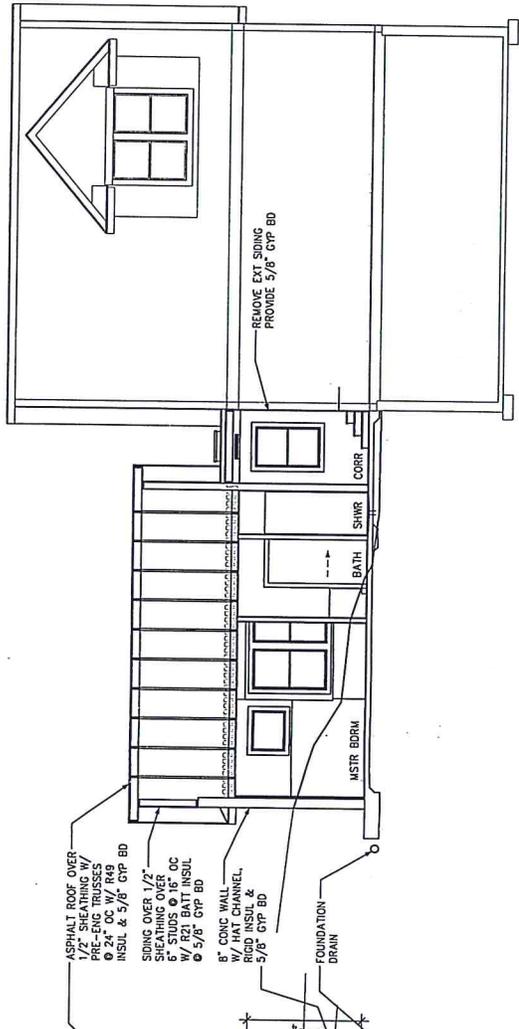
ADDITION OF:
LIVING SPACE
500 DUANE STREET
ASTORIA, OR 97103

SIDING OVER 1/2"
SHEATHING OVER
6" STUDS @ 16" OC
W/ R21 BATT INSUL
& 5/8" GYP BD

8" CONC WALL
W/ HAT CHANNEL
& 5/8" GYP BD

FOUNDATION
DRAIN

NORTH/SOUTH SECTION
SCALE: 1" = 4'-0"



EAST/WEST SECTION
SCALE: 1" = 4'-0"

PRE-LIMINARY
DATE: 6-9-16
DATE REVISED:
DRAWN BY:
MRD
FILE NAME:

PATTI BREIDENBACH
500 DUANE STREET
ASTORIA, OR 97103
208-921-6465

SHEET:
A-4

STAFF REPORT AND FINDINGS OF FACT

August 10, 2016

TO: HISTORIC LANDMARKS COMMISSION

FROM: NANCY FERBER, PLANNER *Nancy Ferber*

SUBJECT: NEW CONSTRUCTION REQUEST (NC16-04) BY JORGE VAZQUEZ TO INSTALL A CANOPY OVER SEATING AREA NEXT TO FOOD TRUCK AT 1701 MARINE DRIVE

I. BACKGROUND SUMMARY

A. Applicant: Jorge A Vazquez
437 W Marine Drive
Astoria OR 97103

B. Owner: Rem Properties LLC-Albarati Aziz
1701 Marine Drive
Astoria OR 97103

C. Location: 1701 Marine Drive Map T8N-R9W Section 8DB, Tax Lot 2600; Lots 5 & 6, Block 132, Shively. Lot size 21,000 square feet

D. Zone: FA (Family Activities)

E. Proposal: To install a tent to cover customer seating area next to taco truck in the gas station parking lot

F. Previous Applications:

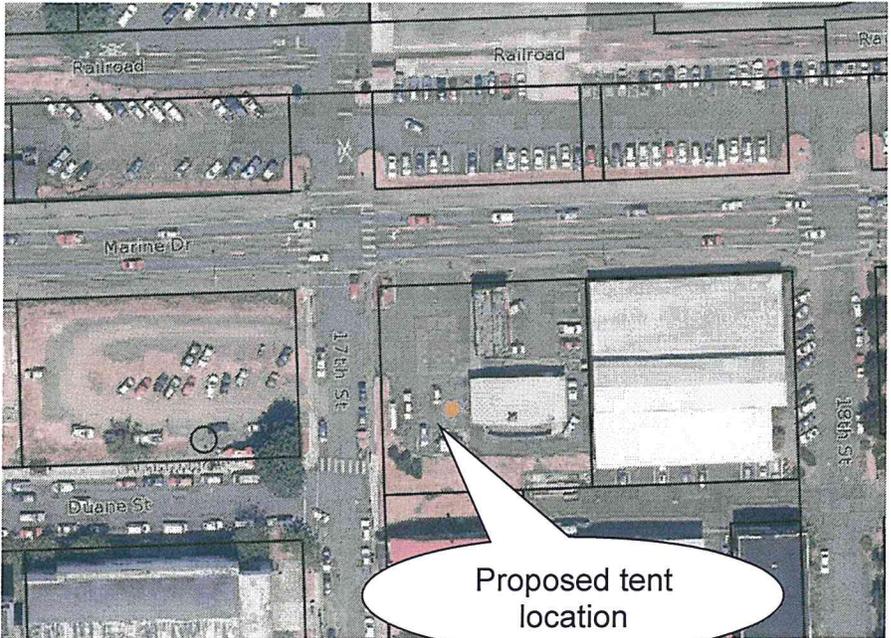
The Texaco station recently changed to Mobil. The ownership remains the same and they have submitted for building permits and new sign permits. In 2013, a portion of Duane Street was vacated. The existing use of a gas station is allowed as a continuation of a non-existing use in the zone. The facility predates the conditional use process and therefore did not receive conditional. The Design Review Committee approved the design and location of the tent at their August 4, 2016 meeting (DR 16-02).



II. BACKGROUND

A. Subject Property

The subject property is located on the south side of Marine Drive and east side of 17th Street. The lot is 150' x 140' (21,000 square feet). The site is currently a gas station, in process of switching from a Texaco to Mobil. The owner remains the same during the



franchise change and approved the HLC and DRC applications. The site falls within the Gateway Overlay Zone and is adjacent to property designated as historic and therefore subject to two separate levels of design review. The Design Review Committee approved the design and location of the tent August 4, 2016.

B. Area:

To the north is the Columbia River Maritime Museum and River Trail; to the west is the parking lot and Bowpicker food boat; to the east is the gas station service area and Builders Supply building; to the south across the vacated section of Duane Street is the Moose Lodge. HLC review is triggered by the Historic Armory Building located on the corner of 17th and Duane.

C. Adjacent Historic Property

Review of new construction at this site is triggered by the site's adjacency to the following historic properties:

1636 Exchange
Secondary
Downtown National Register
Historic District International 1942



D. Proposed Construction:

The proposed project is to install a tent to cover a seating area for customers next to the taco truck located in the parking lot of the gas station. The tent is approximately 360 square feet.

Height: 11' 6" tall at the highest peak.
The lowest clearance is 6' 9"

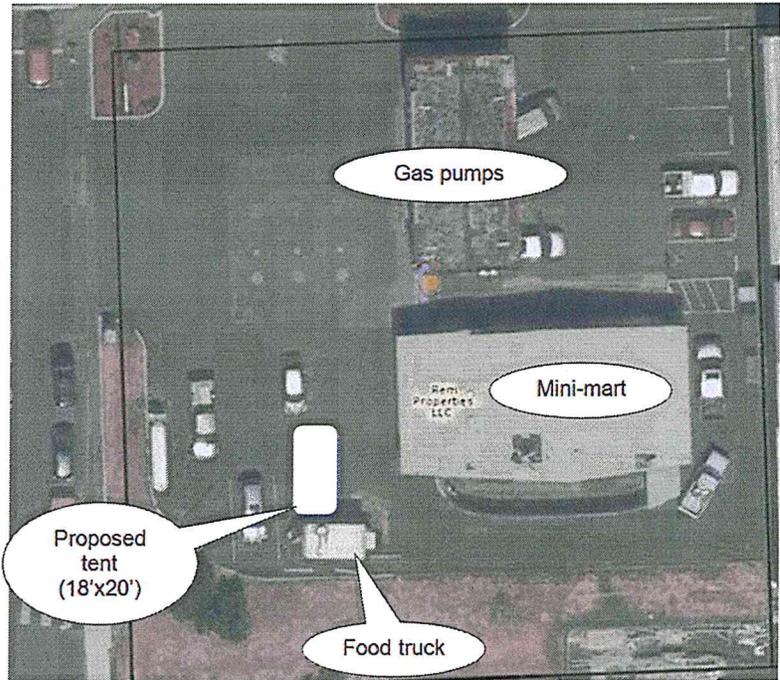
Dimensions: 18'
wide x 20' long

Roof: The canopy is white polyethylene

Siding: No side walls are proposed, the frame is 2" wide white powder coated steel

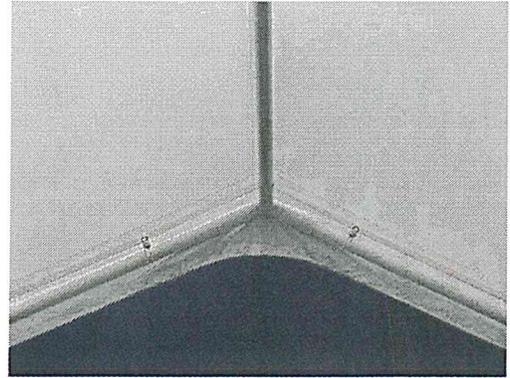
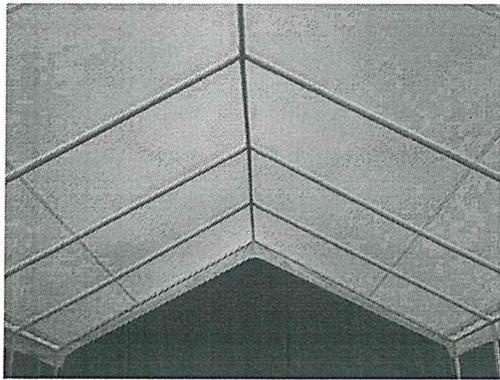
Other Features: The applicant originally proposed weighing down the tent with cement in buckets. Per input from the building inspector and manufacturers requirements, the tent will instead be secured with anchor screws, installed at least 36" from each leg. The anchor screws are removable, should the applicant need to disassemble the tent.

Additional design details are on the next page.



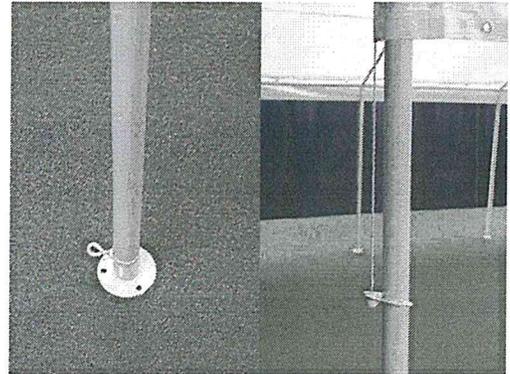
Example of an anchor screw





Materials and Design

- 8 legs
- White canopy and white frame
- 2" powder coated steel frame
- Water-resistant
- Highest clearance 139" (11.6')
- Lowest clearance 81" (6.75')



III. PUBLIC REVIEW AND COMMENT

A public notice was mailed to all property owners within 100 feet pursuant to Section 9.020 on July 22, 2016. A notice of public hearing was published in *The Daily Astorian* on August 9, 2016. Any comments received will be made available at the Historic Landmarks Commission meeting.

IV. APPLICABLE REVIEW CRITERIA AND FINDINGS OF FACT

- A. Development Code Section 6.070(A) states that "no person, corporation, or other entity shall construct a new structure adjacent to or across a public right-of-way from a Historic Landmark or a structure identified as Primary or Secondary, without first obtaining a Certificate of Appropriateness from the Historic Landmarks Commission."

Finding: The structure is proposed to be located adjacent to and across the Duane Street right-of-way from a structure designated as historic. The proposed structure shall be reviewed by the Historic Landmarks Commission.



- B. Development Code Section 6.070(B.1) states that “In reviewing the request, the Historic Landmarks Commission **shall consider and weigh** the following criteria: The design of the proposed structure is compatible with the design of adjacent historic structures considering scale, style, height, architectural detail and materials.”

Finding: The adjacent historic structure is an international style building. The Armory is located on the north side of Exchange Street just east of 16th Street and the Heritage Center. The building occupies most of the 25,000 square foot site, has two levels and contains approximately 40,000 square feet. There is minimal open space and parking around the building. The building was completed in 1942 during WWII and is designated historic in the Shively McClure Historic District. It has a unique barrel-shaped, lamella wood, roof design and had a previous seating capacity of 2,000 making it the largest event center in Astoria in its day. According to the Astoria Armory website, John E. Wicks and Ebba Wicks are the architects on record who were commissioned by the Astoria National Guard.



The existing structure is reinforced concrete with fixed multi-paned wood and steel windows. The exterior is cement stucco. It is located on 17th Street with street frontage on Duane and Exchange Streets. Some windows have been boarded over the years due to vandalism and for security. An application for exterior improvements to the window and adding a staircase was approved at the January 2016 HLC meeting.

This area of Marine Drive has a mixture of mostly commercial uses including two museums and eating establishments. HLC is to “*consider and weigh*” the design factors. While the proposed tent is not similar in design to the Armory, it provides a more pedestrian access to the food truck and has a simple design without excessive ornamentation. It would be inappropriate to try and mimic the barrel roof. The tent is simple, with a small footprint and will not be highly visible from the south of the property.

The tent is an accessory structure to the food truck that is located in the parking lot of the gas station. While there is an existing mini-mart building at the gas station, it is not a historic structure. The canopy/tent is considered a commercial building type. Tents are not commonly found in Astoria as permanent installations but are often installed during special events, parades and summer activities in and around this area. Given the temporary nature of this “permanent” structure, and simple design, the criteria is met.

- C. Development Code Section 6.070 (B.2) states that “In reviewing the request, the Historic Landmarks Commission shall consider and weigh the following criteria: The location and orientation of the new structure on the site is consistent with the typical location and orientation of adjacent structures considering setbacks, distances between structures, location of entrances and similar siting considerations.”



Finding:

The tent will be located as close to the truck as possible. A large portion of the lot is required for vehicle maneuvering to access the gas station. The seating area proposed is adjacent to the food truck and out of the gas station traffic flow. This is a logical and appropriate location for customer seating. The location proposed is within the setbacks for the property, and will be utilized to provide covered seating for the food truck.

This criteria is met.

V. CONCLUSION AND RECOMMENDATION

The request meets all the applicable review criteria. The applicant should be aware of the following:

The applicant shall obtain all necessary City and building permits prior to the start of construction.

Staff recommends approval with the following conditions:

1. Any change in location, design, material, or modifications to the proposed plans as described in this Staff Report shall be submitted to the Community Development Department for review.
2. Per sign code, no flags or moving signage shall be attached to the structure. Any additional signage at the site shall be submitted for review by the Community Development Department.



CITY OF ASTORIA
 Founded 1811 • Incorporated 1856
 COMMUNITY DEVELOPMENT

Pl-cash
 7-21-16

NC 16-04

FEE: \$100.00

NEW CONSTRUCTION (ADJACENT TO HISTORIC PROPERTY)

Property Location: Address: 1701 Marine Drive Astoria

Lot 2600 5#6 Block 132 Subdivision Shivelys

Map 8 DB Tax Lot 5#6 2600 Zone FA

For office use only:	
Adjacent Property Address:	
Classification:	Inventory Area:

Applicant Name: Joseph & Heather Vazquez
 Mailing Address: 437 W Marine Drive
 Phone: 503-208-3507 Business Phone: 503-325-7812 Email: heatherjane@astoriaproperty.com
 Property Owner's Name: Joe Rem Properties LLC / Alvarati Aziz
 Mailing Address: 1701 Marine Drive Astoria, 97103
 Business Name (if applicable): Pelayos
 Signature of Applicant: Heather Vazquez
 Signature of Property Owner: [Signature]

Proposed Construction: Construct tent to cover seating next to taco truck in parking lot of Texaco gas station

For office use only:			
Application Complete:	<u>6/18/16</u>	Permit Info Into D-Base:	<u>7-17-16</u>
Labels Prepared:	<u>7-17-16</u>	Tentative HLC Meeting Date:	<u>AUG 16th HLC</u>
120 Days:	<u>11/4/16</u>		<u>[Signature]</u>

FILING INFORMATION: Historic Landmarks Commission meets at 5:15 pm on the third Tuesday of each month. Completed applications must be received by the 13th of the month to be on the next month's agenda. A pre-application meeting with the Planner is required prior to the acceptance of the application as complete. Only complete applications will be scheduled on the agenda. Your attendance at the Historic Landmarks Commission meeting is recommended. Forms also available on City website at www.astoria.or.us.

Briefly address each of the New Construction Criteria and state why this request should be approved. (Use additional sheets if necessary.):

1. The design of the proposed structure is compatible with the design of adjacent historic structures considering scale, style, height, architectural detail and materials.

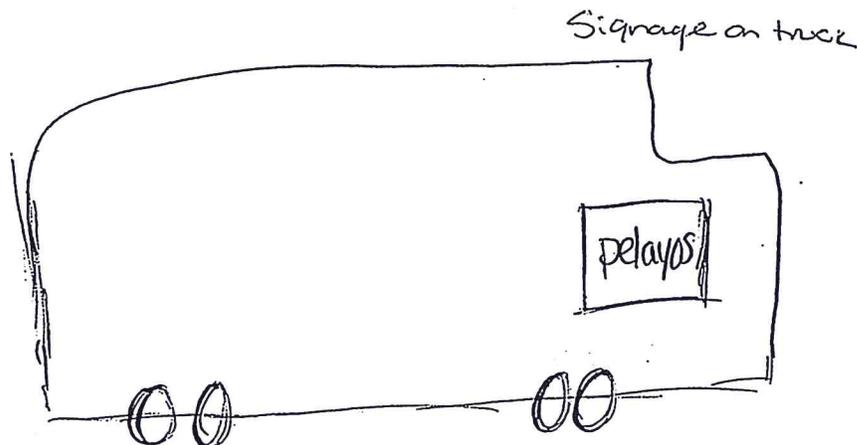
18' x 20' Steel frame Canopy, anchored in buccets with 60lb of concrete; white tent 360 sq feet 138" tall

2. The location and orientation of the new structure on the site is consistent with the typical location and orientation of adjacent structures considering setbacks, distances between structures, location of entrances and similar siting considerations.

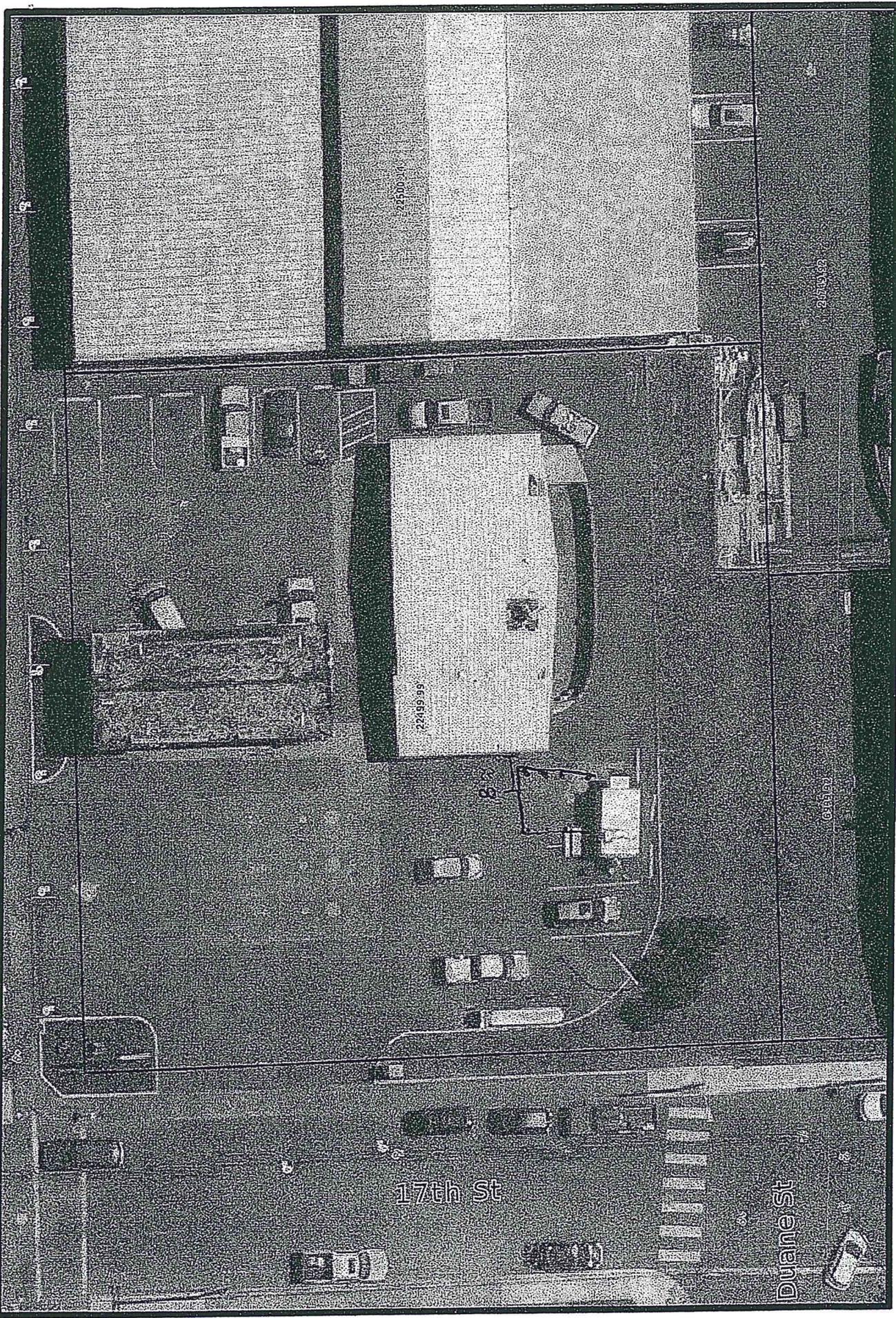
located in the back SW corner of the parking lot. Canopy will be oriented next to the taco truck, appx 8' from corner of gas station canopy; with enough space for cars to navigate around the canopy + into the gas station.

PLANS: A site plan indicating location of the proposed structure on the property is required. Diagrams showing the proposed construction indicating style and type of materials proposed to be used. Scaled free-hand drawings are acceptable. The City may be able to provide some historic technical assistance on your proposal.

See attached



texaco taco truck



DISCLAIMER: The geospatial information provided within this GIS application is provided as a public service by the City of Astoria, Oregon. This GIS application is not intended to be used as a substitute for professional engineering, architectural, or other professional services. The City of Astoria, Oregon, and its employees do not warrant the accuracy, completeness, or reliability of the information provided. The City of Astoria, Oregon, and its employees do not assume any liability for any errors or omissions in the information provided. The City of Astoria, Oregon, and its employees do not assume any liability for any damages, including but not limited to, consequential damages, arising from the use of this GIS application. The City of Astoria, Oregon, and its employees do not assume any liability for any damages, including but not limited to, consequential damages, arising from the use of this GIS application. The City of Astoria, Oregon, and its employees do not assume any liability for any damages, including but not limited to, consequential damages, arising from the use of this GIS application.

Services & Repair Credit Services Pro Xtra Store Finder Order Status Local Ad

Products and Services

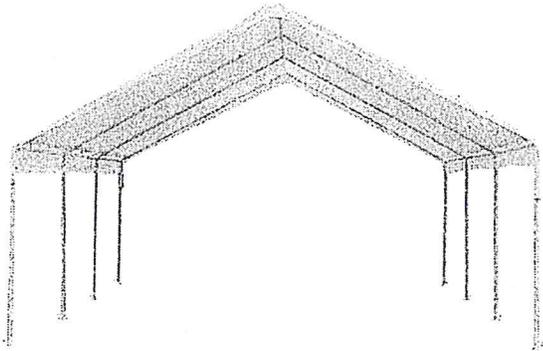
What can we help you find?

Your Store
Warrenton, OR

Sign in
or Register

King Canopy Model # HC1820PC | Internet # 203576569
Hercules 18 ft. W x 20 ft. D Steel Frame Canopy

☆☆☆☆ (14) Write a Review Questions & Answers (38)



Open Expanded View

Click Image to Zoom



\$ +200 to install

\$379.95 /each

- 2 in. Heavy Duty A-Frame Design
- Great for gatherings, quick shade or as a carport
- Easy to follow directions and videos

1. Construction plans

2. photos

3. Site plan -

Where it will be placed on the parking lot, location

4. How will it be installed

PRODUCT NOT SOLD IN STORES

Conf. #

- no sides
- no heaters

Order #

W490634265

PRODUCT OVERVIEW Model # HC1820PC Internet # 203576569

The Hercules line of canopies are durable and easy to assemble. Featuring a 2 in. heavy duty A-frame design. The Hercules is great for gatherings, quick shade or used as a detachable carport.

- 2 in. white powder-coated steel frame
- White polyethylene drawstring cover-patented design
- Fire retardant
- Water-resistant
- 360 sq. ft. of coverage
- No tools required and anchor kit sold separately

Ordered 5-17
Amanda at HD.COM
Conf. Order

Kelly Cos

SPECIFICATIONS

DIMENSIONS

Approximate Depth (ft.)	20	Assembled Width (in.)	213 in
Approximate Width (ft.)	18	Highest Clearance (in.)	139
Assembled Depth (in.)	240 in	Lowest Clearance (in.)	81
Assembled Height (in.)	138 in		



Feedback

Canopy Color Family	Whites	Maximum Wind Resistance (mph)	15
Carport Features	No additional features	Parking Layout	Double-Wide
Frame Color Family	Whites	Product Weight (lb.)	196 lb
Frame Gauge	20	Returnable	90-Day
Frame Material	Metal	Roof Material	Fabric

WARRANTY / CERTIFICATIONS

Manufacturer Warranty 1-Year Limited

MORE PRODUCTS WITH THESE FEATURES

Parking Layout: Double-Wide

Approximate Width (ft.): 18 - 24

Approximate Depth (ft.): 18 - 24

Price: \$300 - \$400

Review Rating: 4 & Up

Maximum Wind Resistance (mph): 15

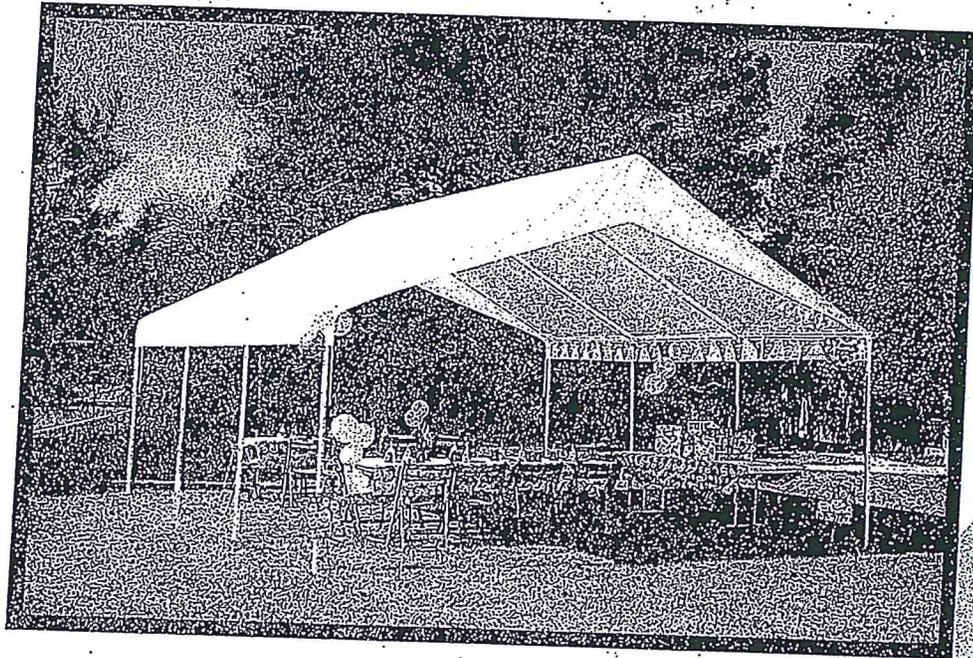
Canopy Color Family: Whites

SEARCH





Hercules™ 18ft X 20ft (360)
17ft9in Wide x 20ft Deep x 6ft8in Side Height /
11ft6in Center Height



King Canopy Item #: HC1820PC

With 8 Legs, White Drawstring Cover,
Elastic Ball Straps & Foot Pads.

Distributed by:
PIC America, LTD.
1730 Five Points Lane • Fuquay-Varina, NC 27526
1-800-800-6296 • www.kingcanopy.com

WARNING:

Keep all flame and heat sources
away from this tent fabric. Meets
the flammability requirements of
CPAI-84 Section 6 and NFPA-701.
It is not fire proof. The fabric will burn if
left in continuous contact with
any flame source.

FRAME ASSEMBLY

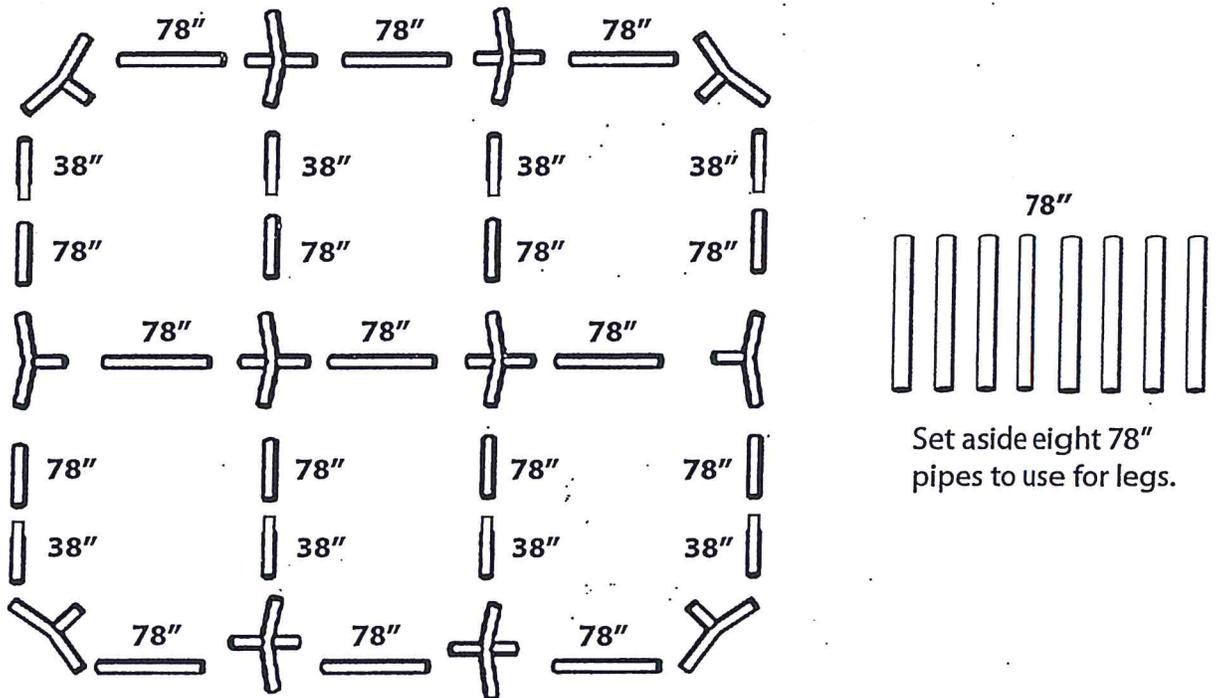


Step 1

Separate all pieces according to size and shape and arrange per the illustration shown below.

Please note:

- The 38in (8) and 78" (8) pipes are used to form the roof rafters
- The remaining 78in pipes are used to form the roof perimeter and for the legs

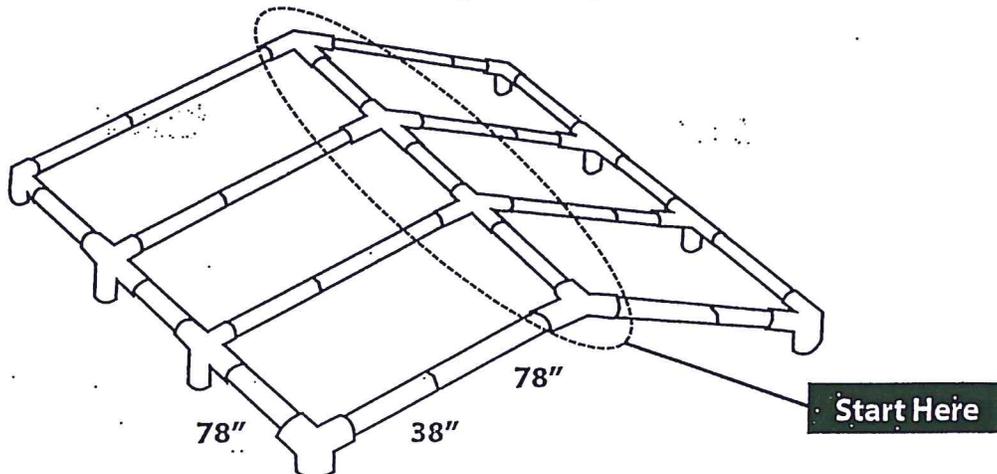


Set aside eight 78" pipes to use for legs.

Step 2

Start with the center and complete the center frame first. Then assemble each side.

NOTE: Attach the cover before inserting the legs.



DO NOT CONNECT LEG POLES AT THIS POINT!



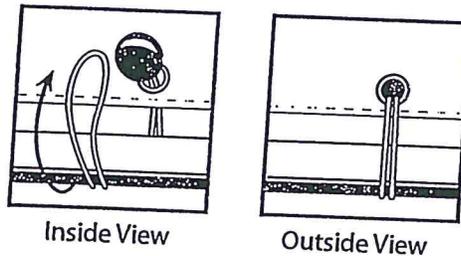
COVER ASSEMBLY

Step 1

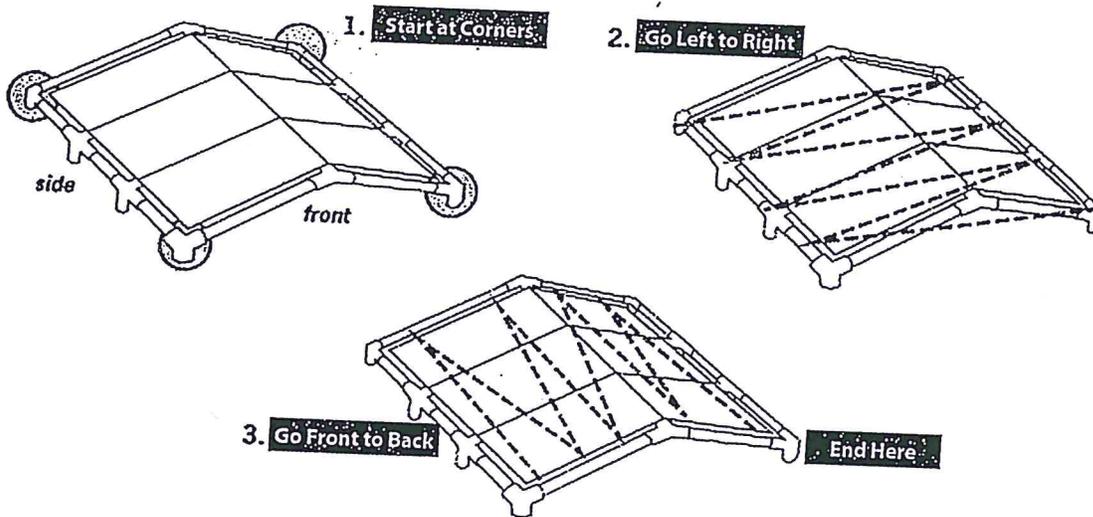
Unfold the cover with the grommets toward the cover's bottom and place over the frame. The flared edges should be located at each of the 4 corners of the frame.

Step 2

Begin attaching the cover with the elastic ball straps by inserting the elastic cord of the ball strap underneath the cover and through the grommet. Then pull cord taut until ball stops. Wrap the cord around the pole and under the ball. This will hide the ball under the cover and provide a more finished look to your unit.



- Start by attaching 2 elastic ball straps at each of the four corners
- Continue attaching straps from left to right in a zigzag pattern down both sides of the canopy
- Attach straps at the front and back of the unit, again using a zigzag pattern until all straps are secured



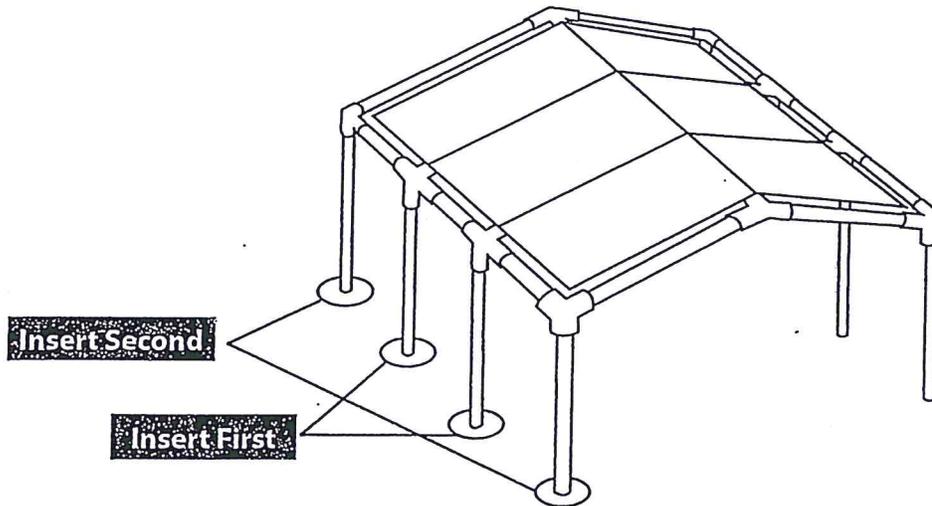
Note:

The ball straps are long enough to accommodate various cover lengths. If your straps need a tighter fit, they can be shortened by making an additional knot in the cord strap. Slide the ball upward to reveal the tied knot. Tie a new knot above the old one. The size of the knot will determine how short the strap becomes. Slip the ball down over the new knot and secure.

LEGS ASSEMBLY



NOW, CONNECT THE LEG POLES TO THE ROOF ASSEMBLY WITH THE COVER ALREADY POSITIONED ON TOP OF THE UNIT.



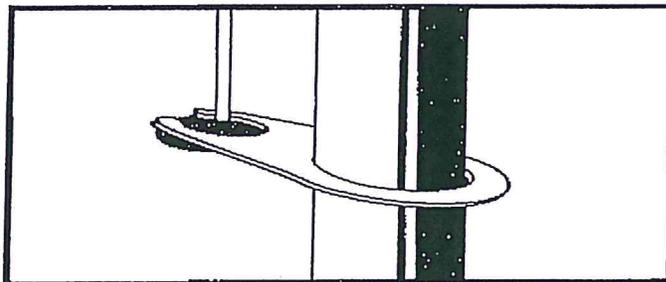
Step A: First insert the pipes for the middle poles into the 3- and 4-way connectors, and then connect the end leg pipes in the same way. (See illustration)

Step B: Push the eight foot pads onto the bottom of each leg.
NOTE: the foot pads are NOT for anchoring the canopy!

Step C: Connect the hook & loop fastening strips down the length of each leg.

Step D:
 Slip one clip onto each of the corner legs.

To secure the clips on the corner legs use the drawstring sewn into each end of the cover. Adjust the drawstring evenly on each side of the canopy by pulling the drawstrings on each end of the cover at the same time. Insert the ball on the drawstring into the slot on the curtain clip. Pull the clip down until tight. Pressure from the drawstring will cause the clip to wedge onto the pipe.



Curtain clips may have to be re-tightened occasionally due to strong wind gusts. IMPORTANT! Once the legs and cover are assembled, your canopy will act like a kite in the wind. It is imperative that the canopy anchors be installed NOW!



ANCHORING YOUR UNIT

This canopy is designed for use as a temporary structure. After assembly, the canopy **MUST BE** securely anchored to the ground to prevent damage from winds. Your canopy will act like a kite in the wind if not properly and securely anchored to the ground. Severe winds will cause the frame to twist and unanchored legs will fall, thereby collapsing the canopy. If severe winds are expected, you must remove the cover from the frame to prevent damage.

Step 1

Measure out at least 36in from each leg. Screw each anchor into the ground leaving 2in between the ground and the eye of each anchor. We strongly recommend that your unit be anchored 36in from each leg although this may not be possible in all cases. **DO** install anchors as close to 36in away from legs as possible.

Step 2

Tie anchor cable or rope around the connector at the top of each leg of the canopy.

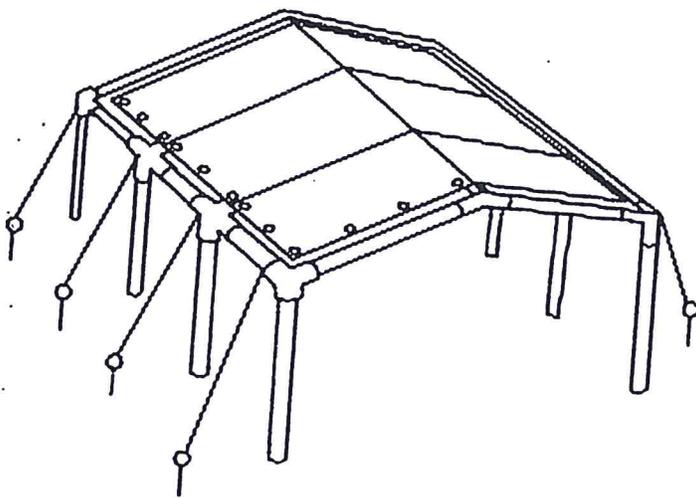
Step 3

Securely tie the other end of the cable or rope through the eye of the anchor and pull tight.

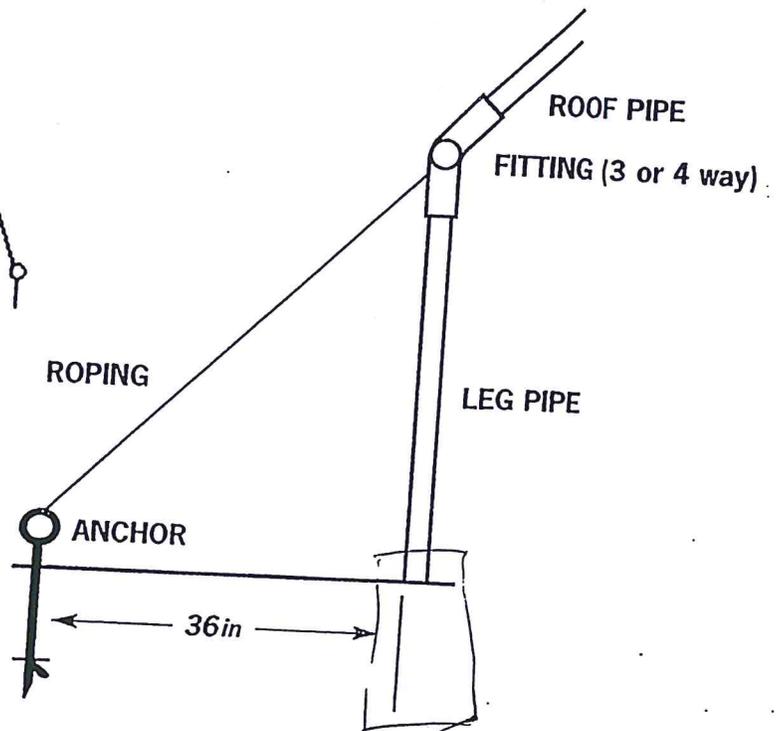
Step 4

Now, continue to screw each anchor into the ground until the eye of the anchor is flush with the ground. This will secure the anchor rope even tighter.

NOTE: You should check and tighten the rope frequently to ensure maximum stability of your canopy and to protect against wind damage.



**ANCHOR KIT NOT INCLUDED
WITH THIS CANOPY**



State Supreme Court Ruling Protects 3,200 Oregon Landmarks

by: [Lydia Ness](#) on: August 4, 2016 1



Sturgis House located in Pendleton, which has now been protected under the State Supreme Court Ruling.

(Photo courtesy of City of Pendleton)

Oregon's State Supreme Court has made the most significant ruling in state history for historic places. The State Supreme Court has sided with the Land Use Board of Appeals' ruling on the *Lake Oswego Preservation Society v City of Lake Oswego* "that the right to remove an historic designation under ORS 197.772(3) applies only to those owners who held title when a local historic designation was first imposed and not to those whose property was already designated at the time they acquired it."

This is a victory for historic preservation in Oregon and has potentially saved 3,200 designated landmarks across the state. The Supreme Court ruling was in regards to the delisting and demolition of Lake Oswego's oldest property, the 1855 Carman House.

Restore Oregon petitioned the court, wrote a brief, and argued in oral arguments before the justices. Our sincerest thanks are owed to Dan Kearns (Reeves Kearns) and Carrie Richter (Garvey Schubert Barer) for providing invaluable legal representation on this case and to Lake Oswego Preservation Society for taking up the fight to save not only the Carman House, but thousands of historic resources around the state.

Additional thanks are owed to the City of Portland, City of Pendleton, and City of The Dalles, the National Trust for Historic Preservation, Preservation Action, Architectural Heritage Center, PreservationWORKS, and the other partners who joined with Restore Oregon in our brief to the Court.